

TOWN OF LONGMEADOW

RICHARD SALTER STORRS LIBRARY

NORTH EXTERIOR WALL REPAIRS AND WINDOW REPLACEMENT

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PRELIMINARY

NOT TO BE
USED FOR
CONSTRUCTION

DRAWING LIST	DRAWING TITLE	REVISION	ISSUE DATE
G-001	TITLE SHEET	B	08/19/19
G-002	CHAPTER 34 REPORT	B	08/19/19
A-201	NORTH ELEVATIONS AND DETAILS	B	08/19/19
A-601	WINDOW SCHEDULE AND DETAILS	B	08/19/19
A-901	PHOTOGRAPHS	B	08/19/19

SUPPLEMENTAL GENERAL NOTES

- REMOVE AND REINSTALL INTERIOR CONSTRUCTION MATERIALS AS NECESSARY BY NEW WORK, i.e. STORED ITEMS, ETC.
- CONTRACTOR SHALL THOROUGHLY PHOTOGRAPH AND DOCUMENT THE SELECTIVE DEMOLITION PROCESS AND NEW WORK.
- ON EXTERIOR, SAND SMOOTH ANY DISTURBED AREAS. PRIME AND PAINT WITH 1-COAT PRIMER - SHERWIN WILLIAMS A-100 EXTERIOR OIL STAIN BLOCKING PRIMER, Y24K20 COLOR: TO MATCH EXISTING.
1-2 COATS PAINT - SHERWIN WILLIAMS, DURATION, EXTERIOR LATEX FLAT COATING K32, COAT AS NECESSARY FOR COMPLETE COVERAGE AND CONSISTENT APPEARANCE. COLOR: TO MATCH EXISTING.
- PROVIDE TOUCH-UP PAINT TO MATCH EXISTING IN ALL WINDOW POCKETS IF DISTURBED BY THE PROJECT WORK.

SUPPLEMENTAL DEMOLITION NOTES

- PROVIDE TEMPORARY DUST PROTECTION TO CONTAIN DUST ON THE INTERIOR.
- VACUUM CLEAN THE WORK AREA AS WORK PROGRESSES.
- REMOVE EXISTING CONSTRUCTION AS REQUIRED FOR INSTALLATION OF REPLACEMENT WINDOWS.

LEGEND

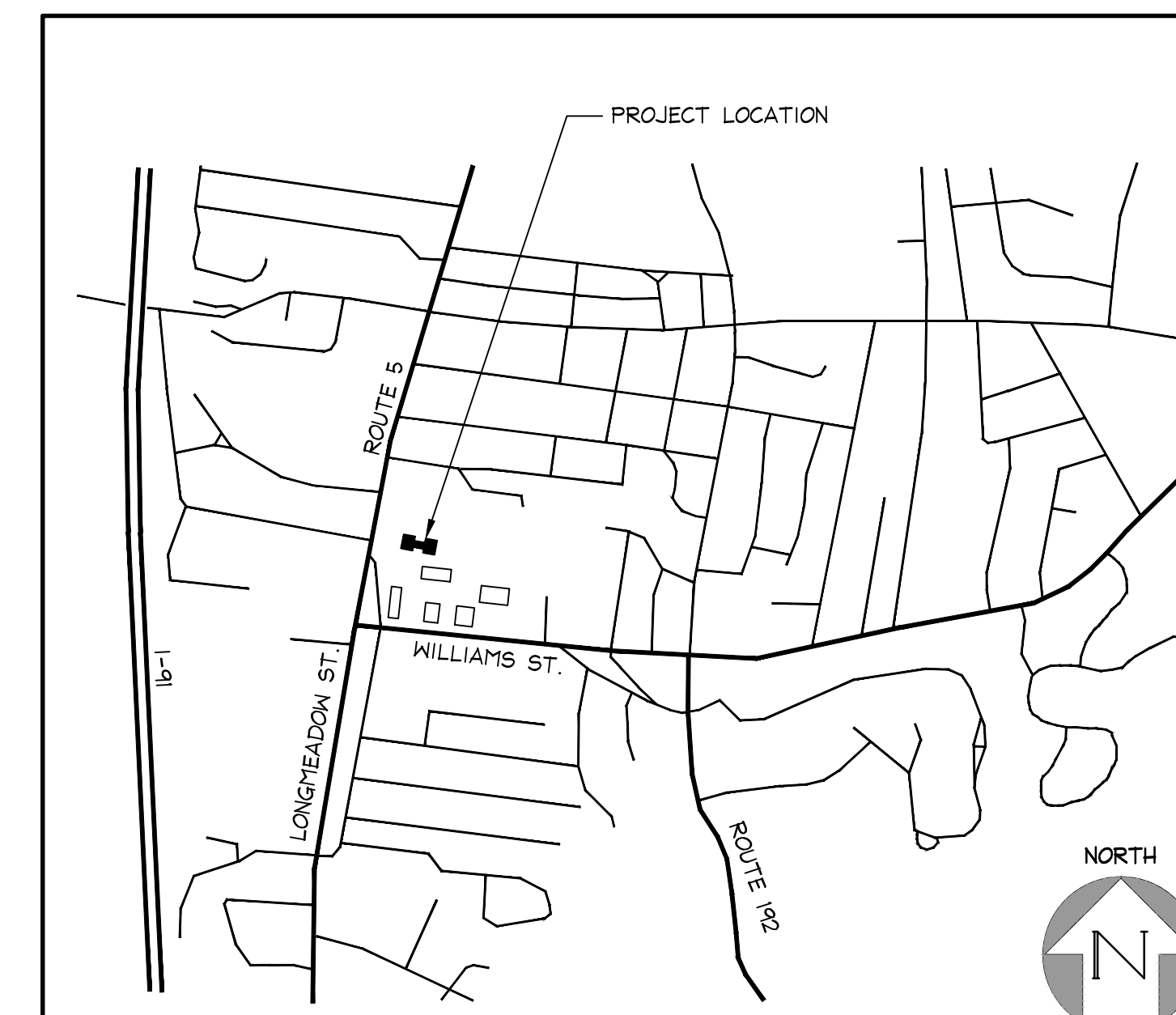
- DEMOLITION ITEM
- # WORK ITEM
- ◇ WINDOW TYPE

DEMOLITION NOTES (ALL TRADES)

- CONTRACTOR SHALL ERECT ALL SAFETY BARRICADES AND POST PROPER NOTICES PRIOR TO COMMENCING WORK.
- GC SHALL COORDINATE ALL SUBCONTRACTOR DEMOLITION, CUTTING, PATCHING, ETC.
- ITEMS TO BE REMOVED SHALL BE CLEANLY CUT BACK TO THE LIMITS SHOWN ON THE DRAWINGS, OR AS DIRECTED BY THE OWNER REPRESENTATIVE OR ARCHITECT.
- DEMOLISH ALL WORK IN A SAFE MANNER AND PROTECT ALL WORK WHICH IS TO REMAIN. RESTORE ALL CONDITIONS WHICH BECOME DAMAGED, THAT ARE NOT SCHEDULED TO BE DEMOLISHED, TO THEIR ORIGINAL STATE.
- CONTRACTOR SHALL ERECT DUST PARTITION/PROTECTION BARRIERS TO PROTECT ADJACENT AREAS TO REMAIN, AND CONTRACTOR SHALL CLEAN THOSE AREAS WHICH HAVE BECOME AFFECTED.
- CONTRACTOR SHALL COMPLY WITH RULES AND REGULATIONS ESTABLISHED BY GOVERNMENTAL AGENCIES TO PROPERLY TRANSPORT DEMOLITION MATERIALS USING CONTAINERS DESIGNED FOR PARTICULAR WASTE TO APPROVED DISPOSAL SITES. CONTRACTOR SHALL OBTAIN ALL PERMITS AND PAY ALL FEES. DEBRIS SHALL BE REMOVED ON A DAILY BASIS.
- CONTRACTOR SHALL IMMEDIATELY HALT WORK AND NOTIFY ARCHITECT/ENGINEER IF HAZARDOUS MATERIAL IS FOUND DURING DEMOLITION.
- COORDINATE WITH OWNER FOR THOSE ITEMS WHICH ARE TO BE TURNED OVER TO OWNER, OR THOSE ITEMS WHICH ARE TO BE REMOVED BY OWNER.
- COORDINATE WITH OWNER FOR WORK NEAR MACHINERY/EQUIPMENT AND BUILDING SYSTEMS AND FOR HVAC, PLUMBING OR ELECTRICAL SHUT DOWNS PRIOR TO DEMOLITION.
- ALL ELECTRICAL POWER SHALL BE DISCONNECTED AND TEMPORARY LIGHTING PROVIDED PRIOR TO DEMOLITION.
- PRIOR TO CORE DRILLING CONCRETE FLOOR SLABS, CONTRACTOR SHALL PERFORM X-RAY OR RADAR CHECKING FOR EXISTING OBSTRUCTIONS. PROCEEDING WITH WORK WITHOUT VERIFICATION WILL BE AT THE CONTRACTOR'S RISK AND EXPENSE.

GENERAL NOTES (ALL TRADES)

- THE CONTRACTOR SHALL INCLUDE ALL TAXES (STATE AND FEDERAL).
- ALL WORK SHALL COMPLY WITH STATE AND LOCAL CODES AND ORDINANCES. THE CONTRACTOR(S) SHALL APPLY FOR ALL PERMITS, AND SHALL PAY ALL PERMIT RELATED FEES. ALL NECESSARY PERMITS SHALL BE OBTAINED PRIOR TO THE START OF WORK, AND THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR OBTAINING THE "OCCUPANCY CERTIFICATE" PRIOR TO OCCUPANCY.
 - CONTRACTOR(S) SHALL PROVIDE ALL NECESSARY SERVICE ON ALL MATERIALS AND WORKMANSHIP PROVIDED UNDER THIS CONTRACT FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE OF FINISHED INSTALLATION AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR(S) SHALL EXTEND ALL AVAILABLE WARRANTIES ON THE EQUIPMENT IN WRITING TO THE OWNER.
 - THE CONTRACTOR(S) SHALL MAINTAIN THE JOB CLEAR OF TRASH AND DEBRIS, AND SHALL PRESENT THE PROJECT TO THE OWNER FOR FINAL ACCEPTANCE CLEAN AND READY FOR OCCUPANCY. ALL GLASS AND METAL FRAMES SHALL BE CLEANED, ALL LABELS REMOVED, FLOORS SWEEP BROOM CLEAN, CARPET VACUUMED AND THE PROJECT AREA LEFT FREE OF TRASH AND DEBRIS.
 - TEMPORARY FACILITIES FOR PROTECTION OF TOOLS AND EQUIPMENT SHALL CONFORM TO LOCAL REGULATIONS AND SHALL BE THE CONTRACTOR(S) RESPONSIBILITY.
 - THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. SAFETY, CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION, AND COMPLIANCE WITH STATE AND FEDERAL REGULATIONS REGARDING SAFETY SHALL BE THE CONTRACTOR(S) RESPONSIBILITY.
 - THE CONTRACTOR AND HIS SUB-CONTRACTORS SHALL VISIT THE SITE AND BECOME FAMILIAR WITH ALL CONDITIONS PRIOR TO SUBMITTING HIS PROPOSAL. CLAIMS FOR EXTRA PAYMENT WILL NOT BE ALLOWED BECAUSE OF UNFAMILIARITY WITH THE WORK TO BE PERFORMED BY OTHER TRADES, EXISTING CONDITIONS AT THE JOB SITE, LOCAL, STATE OR FEDERAL LAWS, OR ALTERATIONS DUE TO FIELD CONDITIONS.
 - CONTRACTOR(S) SHALL VERIFY ALL DIMENSIONS IN BOTH HORIZONTAL AND VERTICAL PLANES AND CONDITIONS SHOWN ON THE CONTRACT DOCUMENTS WITH THOSE ON THE JOB PRIOR TO COMMENCEMENT OF ANY WORK. ANY VARIATION WHICH REQUIRES PHYSICAL CHANGE SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER.
 - THE CONTRACTOR AND HIS SUB-CONTRACTORS SHALL IMMEDIATELY CONTACT THE ARCHITECT/ENGINEER AND PROVIDE A SHOP DRAWING/SKETCH FOR DETERMINATION, SHOULD HE FIND ANY CONFLICT OR INCONSISTENCY BETWEEN THE WORK SHOWN ON THE CONTRACT DOCUMENTS AND NORMAL ACCEPTED CONSTRUCTION PRACTICES, OR ASSUME RESPONSIBILITY FOR ALL CORRECTIONS.
 - MODIFICATIONS REQUIRED FOR ANY REVISIONS TO THE CONTRACT DOCUMENTS INITIATED BY THE CONTRACTOR OR SUB-CONTRACTOR WITHOUT PRIOR WRITTEN APPROVAL BY THE ARCHITECT/ENGINEER SHALL BE ACCOMPLISHED AT THE CONTRACTOR(S) RISK.
 - DO NOT SCALE OFF DRAWINGS FOR ANY PURPOSE.
 - ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO OWNER/PLANT STANDARDS, AS A MINIMUM, OR THESE DRAWINGS, WHICHEVER IS MORE STRINGENT.
 - ALL STAIRS AND CORRIDORS AND MEANS OF EGRESS ROUTES SHALL REMAIN ACCESSIBLE AT ALL TIMES.
 - PROVIDE SELF ADHERING WALK-OFF MATS AT ALL ENTRY/EXIT LOCATIONS. MAINTAIN AND REPLACE AS REQUIRED THROUGHOUT CONSTRUCTION.
 - EXISTING CONSTRUCTION NOT SCHEDULED FOR WORK SHALL BE PROTECTED THROUGHOUT CONSTRUCTION, INCLUDING BUT NOT LIMITED TO FIRE ALARM PULL STATIONS, HORNS, STROBES, THERMOSTATS, PARTITIONS, CEILINGS, FLOOR FINISHES, AND FURNISHINGS.
 - CONTRACTOR(S) SHALL SUBMIT FOUR (4) COPIES OF CATALOG CUT SHEETS FOR ALL MATERIALS TO THE ARCHITECT/ENGINEER FOR APPROVAL BEFORE ANY WORK IS TO BEGIN. NO CHANGES OR SUBSTITUTIONS ALLOWED WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT/ENGINEER OR OWNER.
 - CONTRACTOR(S) SHALL COORDINATE WITH OTHER TRADES TO ELIMINATE ANY INTERFERENCES WITH PIPES, DUCTS, ETC.
 - ALL CONSTRUCTION COMPONENT, EQUIPMENT/SYSTEMS AND SUBMITTALS SHALL COMPLY WITH THE ENERGY CODE OF THE STATE IN WHICH THE BUILDING IS LOCATED.
 - IT IS THE INTENTION OF THE DRAWINGS TO CALL FOR FINISHED WORK, TESTED, AND READY FOR OPERATION.
 - ACCESSIBLE ACCESSORIES/DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE STATE CODE IN WHICH THE BUILDING IS LOCATED.
 - MISCELLANEOUS DEFINITIONS:
"FURNISH" MEANS SUPPLY AND DELIVER TO THE PROJECT SITE OR OTHER DESIGNATED LOCATION, READY FOR UNLOADING, UNPACKING, STORING, ASSEMBLY, INSTALLATION, APPLICATION, ERECTION, OR OTHER FORM OF INCORPORATION INTO THE PROJECT, AND MAINTAINED READY FOR USE. SUPPLY AND DELIVER PRODUCTS REQUIRING ADDITIONAL OR SUPPLEMENTAL FITTING, ASSEMBLY, FABRICATION, OR INCORPORATION INTO OTHER ELEMENTS OF THE PROJECT DIRECTLY TO THE FABRICATOR, INSTALLER OR MANUFACTURER AS REQUIRED.
"INSTALL" MEANS UNLOAD, UNPACK, USE, FIT, ATTACH, ASSEMBLE, APPLY, PLACE, ANCHOR, ERECT, FINISH, CURE, PROTECT, CLEAN, AND SIMILAR OPERATIONS REQUIRED TO PROPERLY INCORPORATE WORK INTO THE PROJECT.
"PROVIDE" MEANS FURNISH AND INSTALL COMPLETE, AND READY FOR USE. PROVIDE ANY AND ALL ITEMS NECESSARY TO COMPLETE THE SYSTEMS.
 - WHERE PRE-MANUFACTURED COMPONENTS/DEVICES/EQUIPMENT (ETC.) ARE IDENTIFIED, THE CONTRACTOR SHALL STRICTLY FOLLOW ALL MANUFACTURER INSTRUCTIONS AND RECOMMENDATIONS FOR INSTALLATION.
 - ANY DAMAGE TO EXISTING UTILITIES, STRUCTURES, FINISHES OR PROPERTY MUST BE REPORTED TO THE OWNER FOR REVIEW AND DIRECTION AS TO THE REPAIR, REPLACEMENT OR ABANDONMENT AT THE CONTRACTOR'S EXPENSE.



1	LOCUS PLAN
G-001	N.T.S.

TOWN OF LONGMEADOW
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698 LONGMEADOW STREET, LONGMEADOW, MA 01106
PROJECT DESCRIPTION
TITLE SHEET

NORTH EXTERIOR WALL REPAIRS AND WINDOW REPLACEMENT

DRAWN BY: **JK**
DATE DRAWN: **06-27-19**
SCALE: **AS NOTED**
AP'D BY: _____

CAD CODE:
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GRAPHIC SCALE:

PROJECT NUMBER:
TOL-8-004

DRAWING NUMBER	REV.
G-001	B

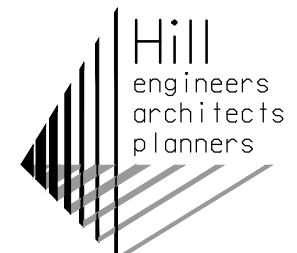
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**Town of Longmeadow
Richard Salter Storrs Library
Window Replacement**

693 Longmeadow Street
Longmeadow, MA 01106
TOL-08-004
June 2019



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**780 CMR 9th Edition Chapter 34.00
Prescriptive Compliance Method Analysis and Report**

- As per the 9th Edition of 780 CMR 34.00, effective 1/01/18, the Existing Building Code in Massachusetts is, by adoption, the International Existing Building Code -2015 (IEBC-2015) with Massachusetts amendments.
- As per 780 CMR Chapter 34.00 Section 101.1, these regulations shall be known as the Existing Building Code of Massachusetts, hereinafter referred to as 780 CMR 34.00.
- The proposed work is controlled construction as per 780 CMR Section 107. This written report details the results of an investigation and evaluation of the existing building in accordance with the stipulations of 780 CMR 34.00 Section 101.4.2.2.1.
- This report assumes that there are no outstanding notices of violations or other orders from the building official concerning the condition or use of the subject building. (780 CMR Section 102.6.4 Existing Means of Egress, Lighting and Ventilation).
- This report is intended to be submitted to the building official as a necessary precondition of the issuance of a building permit.

Reference Data

The building has two stories with a partial basement.
The original 1933 Building:
Type III-B Construction (brick masonry exterior walls, interior wood framing).
The 1993 Building Addition:
Type V-B Construction (non-load bearing brick masonry exterior walls, interior wood framing with steel reinforcing).
The construction is non-separated.
The building area is: Basement: 3,885sf, First Floor: 9,200sf, Second Floor: 8,600sf
The building is currently occupied as a library – Assembly A-3 Use and Occupancy.
The building is non-sprinkled.

Project Description

The project scope includes the following Work:
In the 1993 Building Addition:
Remove windows and replace with new window units. The exterior of the window units will receive bent metal trim to seal the assembly. Remove spandrel panels and replace with new spandrel panels. Trim will be installed and painted where needed.

Chapter 1 - Scope and Administration **Applicable**

Part 1- Scope and Application
Section 101 General **Applicable**
101.1 Title.
These regulations shall be known as the *Existing Building Code of Massachusetts*, hereinafter referred to as 780 CMR 34.00.

101.2 Scope. **Applicable**
The provisions of the *International Existing Building Code of Massachusetts-2015* shall apply to the repair, alteration, change of occupancy, addition to and relocation of existing buildings.
Notes:
1. If requirements in 780 CMR 34.00 conflict with similar requirements in 780 CMR 1.00 *Scope and Administration*, then 780 CMR 1.00 controls.
2. When 780 CMR 34.00 references requirements in other I-Codes, see 780 CMR 1.00 *Scope and Administration* for guidance on how to use those I-Codes.
3. Requirements in 780 CMR 34.00 for plumbing, fuel gas, electrical, elevators, fire, or accessibility shall be replaced by the requirements of the Massachusetts specialty codes, as indicated in 780 CMR 1.00: *Scope and Administration*.

101.3 Intent. **Applicable**
The intent of this code is to provide flexibility to permit the use of alternative approaches to achieve compliance with minimum requirements to safeguard the public health, safety and welfare insofar as they are affected by the *repair, alteration, change of occupancy, addition and relocation of existing buildings*.

101.4 Applicability. **Applicable**
This code shall apply to the *repair, alteration, change of occupancy, addition and relocation of existing buildings*, regardless of occupancy, subject to the criteria of Sections 101.4.1 and 101.4.2.

101.4.1 Buildings Not Previously Occupied. **Not Applicable**
A building or portion of a building that has not been previously occupied or used for its intended purpose in accordance with the laws in existence at the time of its completion shall be permitted to comply with the provisions of the laws in existence at the time of its original permit unless such permit has expired. Subsequent permits shall comply with the 780 CMR 1.00 through 35.00 or 780 CMR 51.00, as applicable, for new construction.

101.4.2 Buildings Previously Occupied. **Applicable**
The legal occupancy of any building existing on the date of adoption of this code (10/20/17) shall be permitted to continue without change, except as is specifically covered in this code, 527 CMR or 780 CMR, or as is deemed necessary by the *code official* for the general safety and welfare of the occupants and the public.

101.5 Safeguards During Construction. **Applicable**
Construction work covered in this code, including any related demolition, shall comply with the requirements of Chapter 15.

101.6 Appendices. **Applicable**
The *code official* is authorized to require rehabilitation and retrofit of buildings, structures or individual structural members in accordance with the appendices of this code if such appendices have been individually adopted.

101.7 Correction of Violations of Other Codes. **Not Applicable**
Repairs or alterations mandated by any property, housing, or fire safety maintenance code or mandated by any licensing rule or ordinance adopted pursuant to law shall conform only to the requirements of that code, rule, or ordinance and shall not be required to conform to this code unless the code requiring such *repair or alteration* so provides.

Part 2-Administration and Enforcement
Section 104 Duties and Powers of Code Official **Applicable**
104.2.2.1 Building Investigation and Evaluation. **Applicable**
For any proposed work regulated by 780 CMR 34.00 and subject to section 107 of 780 CMR, as a condition of the issuance of a permit, the building owner shall cause the existing building (or portion thereof) to be investigated and evaluated in accordance with the provisions of 780 CMR 34.00. The investigation and evaluation shall be in sufficient detail to ascertain the effects of the proposed work on at least these systems: structural, means of egress, fire protection, energy conservation, lighting, hazardous materials, accessibility, and ventilation for the space under consideration and, where necessary, the entire building or structure and its foundation if impacted by the proposed work. The results of the investigation and evaluation, along with any proposed compliance alternatives, shall be submitted to the building official in written report form.

In brief, the following table indicates the effects of the proposed work on the above listed systems:

Structural Design Gravity Load	-None
Structural Lateral Load Capacity	-None
Means of Egress	-None
Fire Protection	-None
Fire Resistive Construction	-None
Energy Conservation	-Will Comply
Lighting	-None
Hazardous Materials	-None
Accessibility	-None
Ventilation	-None

The following report expands on the above list and documents the results of the investigation and evaluation of the subject building or structure, along with any proposed compliance alternatives.
104.10.1 Flood Hazard Areas. **Not Applicable**
For existing buildings located in flood hazard areas, any alterations that do not constitute substantial improvement of the existing structure are not required to comply with flood design requirements.
104.11 Compliance Alternative. **None Proposed**
Where compliance with the provisions of the code for new construction, required by 780 CMR 34.00, is impractical because of construction difficulties or regulatory conflicts, compliance alternatives may be accepted by the building official. The building official may accept these compliance alternatives, archaic materials and assemblies in Resource A of 780 CMR 34.00, or others alternatives proposed. If the compliance alternative involves fire protection systems, the building official shall consult with the fire official.

Chapter 2 – Definitions **Applicable**

Chapter 3 – Provisions for All Compliance Methods **Applicable**
Section 302 General Provisions **Applicable**
302.1 Applicability. **Applicable**
The provisions of Section 302 apply to all alterations, repairs, additions, relocations of structures and changes of occupancy regardless of compliance method.

302.3 Existing Materials. **Applicable**
Materials already in use in a building in compliance with requirements or approvals in effect at the time of their erection or installation shall be permitted to remain in use unless determined by the building official to be unsafe.

302.4 New and Replacement Materials. **Applicable**
Except as otherwise required or permitted by this code, materials permitted by the applicable code for new construction shall be used. Like materials shall be permitted for *repairs and alterations*, provided no unsafe condition is created. Hazardous materials shall not be used where the code for new construction would not permit their use in buildings of similar occupancy, purpose and location.

Chapter 4 - Prescriptive Compliance Method **Applicable**
Section 406 Glass Replacement and Replacement Windows **Applicable**

406.1 Replacement glass. **Applicable**
The installation or replacement of glass shall be as required for new installations.

The replacement windows will comply with:

2015 International Energy Conservation Code with Massachusetts Amendments, Table C402.4, Building Envelope Fenestration, Climate Zone 5,

Maximum U-Factor **Required**
Fixed Fenestration **0.38**

Maximum SHGC **North**
Orientation **0.53**
PF<0.2

Maximum Air Leakage Per Table C402.5.2 **Max. =0.2 cfm/sq.ft. (unless noted per the table)**

-End of Report-

PRELIMINARY

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REV.	DESCRIPTION	DATE	DRN CK'D
A	ISSUED FOR CLIENT REVIEW	07/12/19	JK
B	ISSUED FOR BIDDING	09/19/19	MK

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PROJECT DESCRIPTION
NORTH EXTERIOR WALL REPAIRS AND WINDOW REPLACEMENT

DRAWING TITLE
CHAPTER 34 REPORT

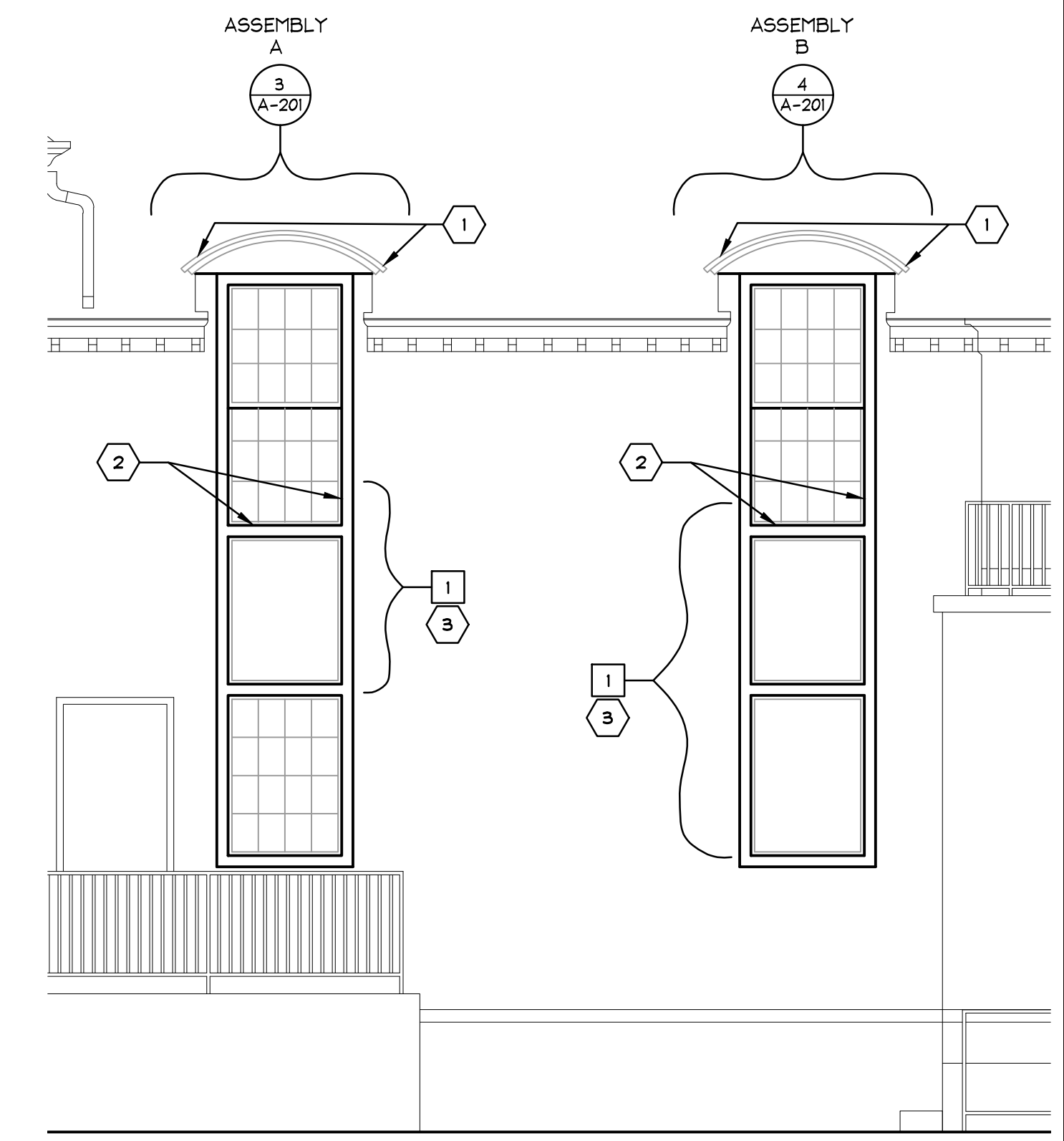
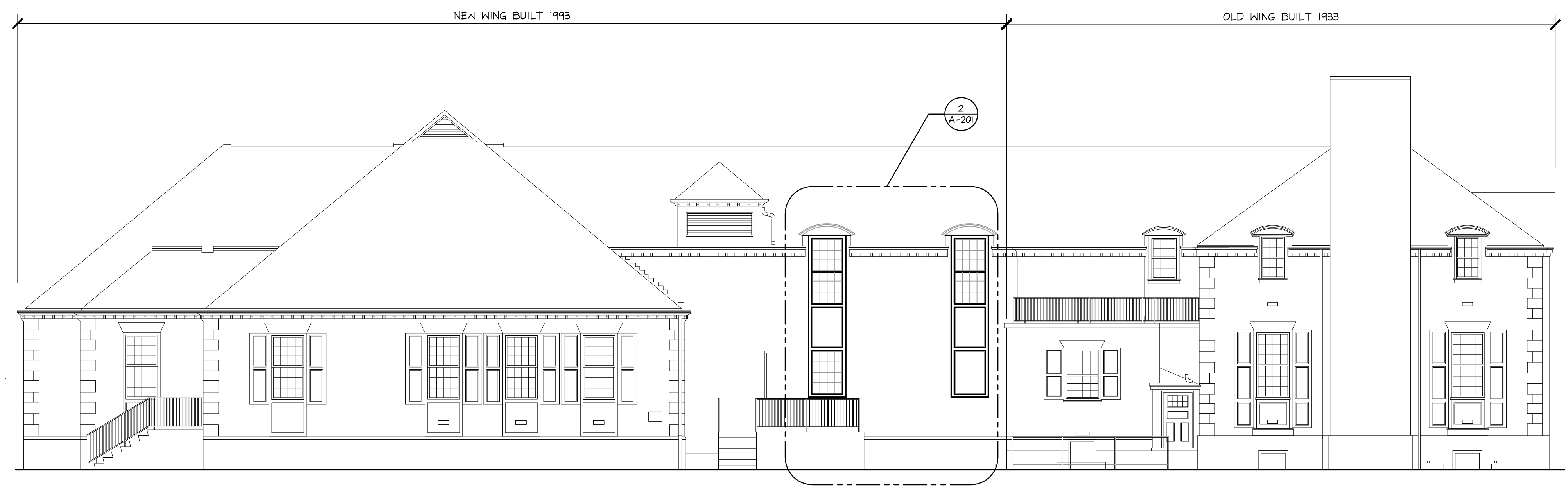
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G-002	B

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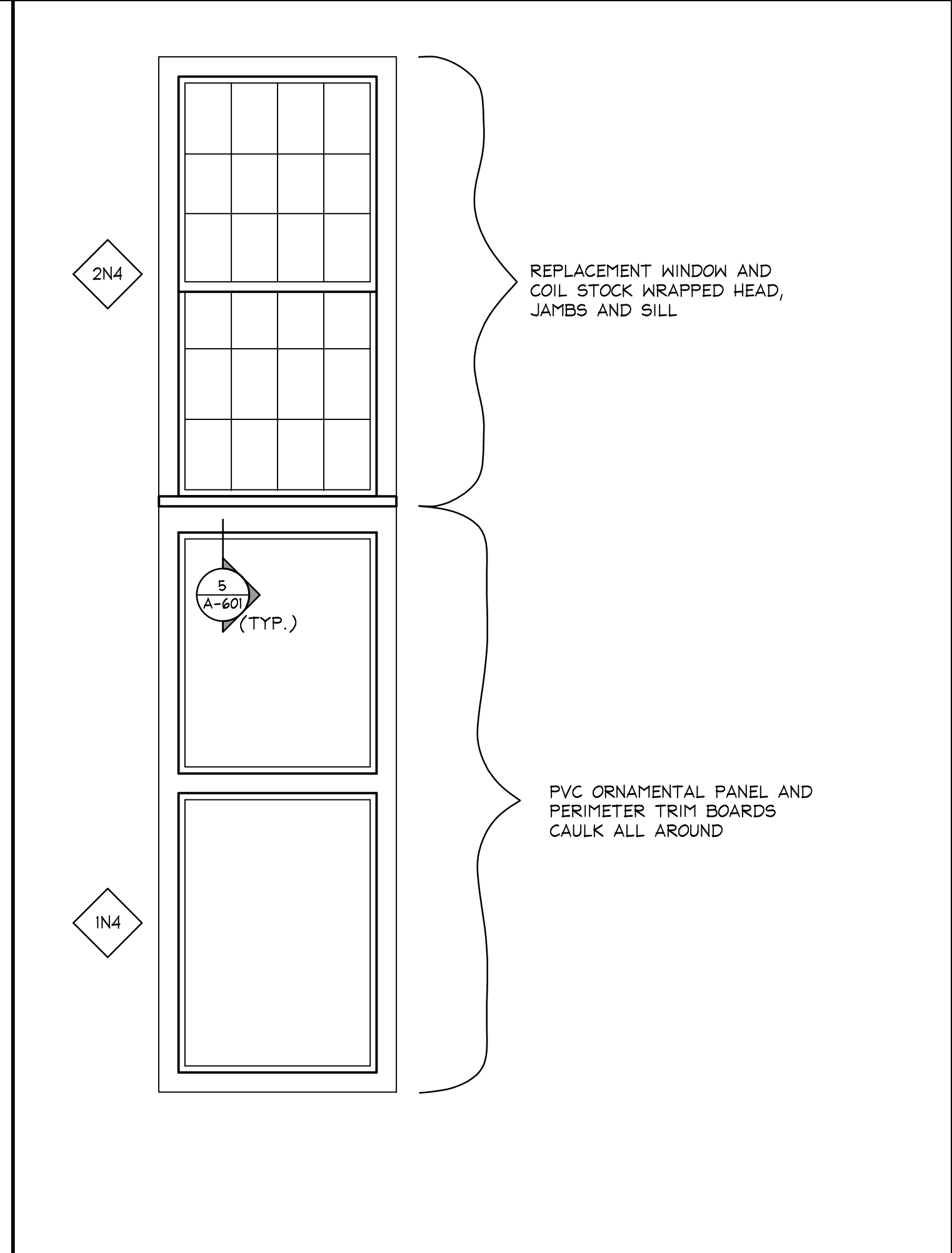
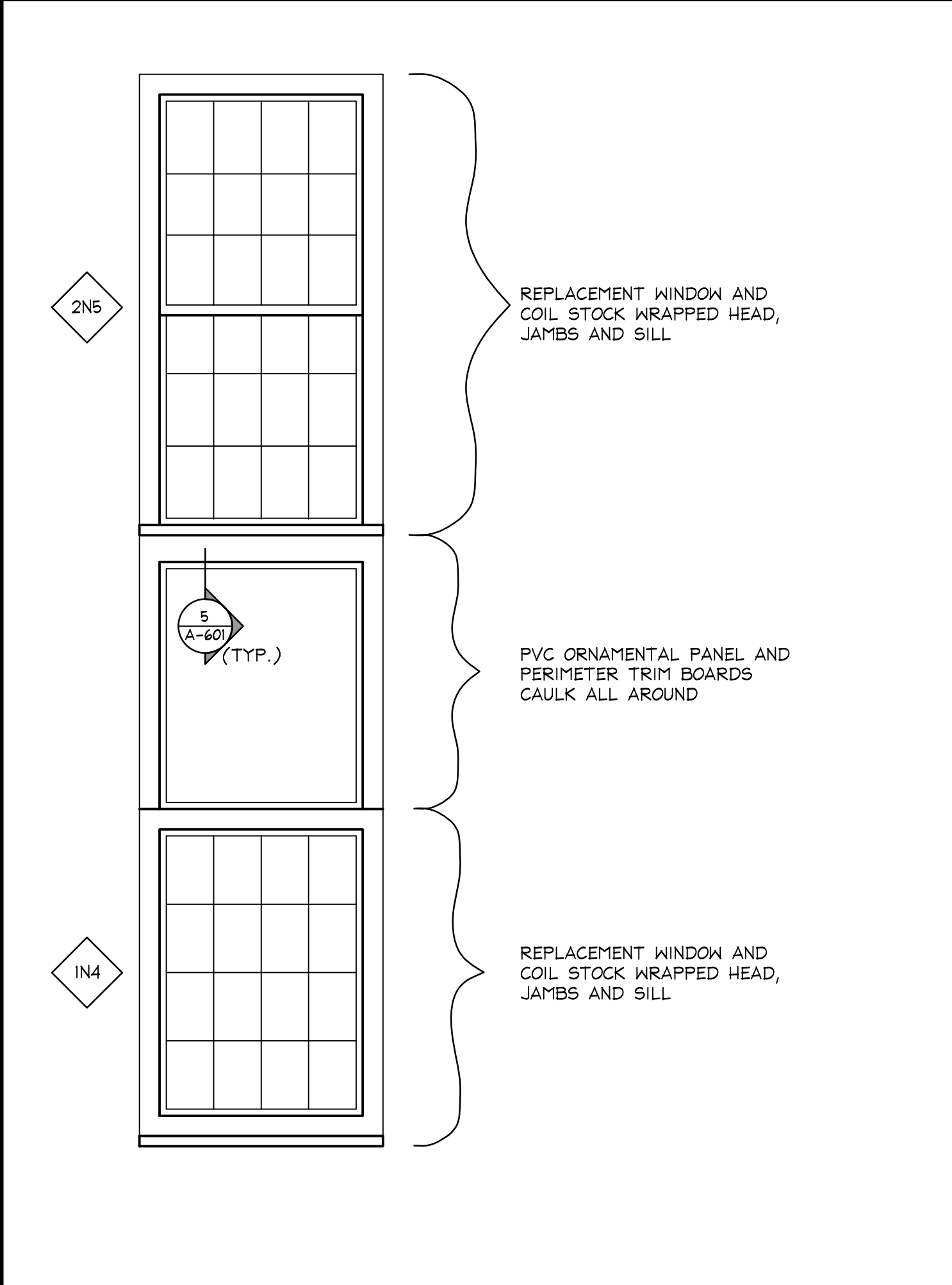


PRELIMINARY

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1 NORTH ELEVATION
A-201 1/8"=1'-0" 0 4' 8' 16'

2 ENLARGED ELEVATION
A-201 1/4"=1'-0" 0 2' 4' 8'



DEMOLITION ITEMS

1 REMOVE ORNAMENTAL PANELS AND ROTTED WOOD IN THEIR ENTIRETY.

WORK ITEMS

1 CONTRACTOR OPTIONS: (SEE PHOTOS 6/A-201)

a. REMOVE ROTTED WOOD AND REPLACE WITH MATCHING PROFILE TO INTEGRATE INTO EXISTING CONSTRUCTION.

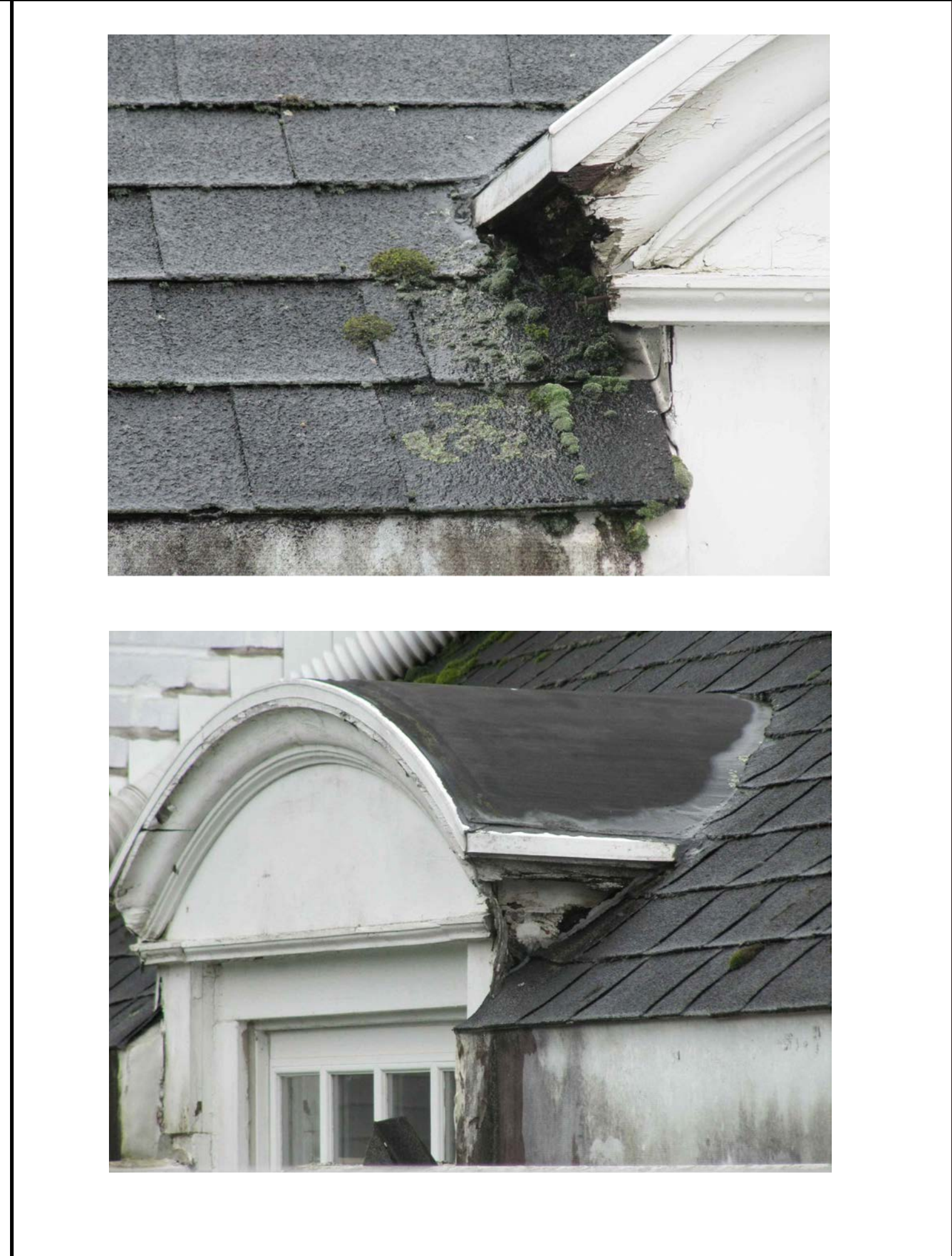
b. INFILL VOID WITH WOOD COMPOSITE/ PUTTY AND SCULPT TO MATCH EXISTING CONSTRUCTION. PRIME AND PAINT , (2) COATS THE ENTIRE UPPER ARCH ASSEMBLY, WHITE TO MATCH THE EXISTING COLOR.

2 REPLACE ROTTED ASSEMBLIES (SILL/JAMB) WITH PRESSURE TREATED LUMBER TO MATCH THE FORMER PROFILE.

3 PROVIDE ORNAMENTAL RAISED PANEL ASSEMBLIES CONSTRUCTED FROM 3/4" THICK PVC SHEET.

GENERAL NOTE:

ALL NEW WORK, EXCEPT WINDOWS AND COIL STOCK, SHALL BE PRIMED AND PAINTED.



3 ASSEMBLY A ELEVATION
A-201 1/2"=1'-0" 0 1' 2' 4'

4 ASSEMBLY B ELEVATION
A-201 1/2"=1'-0" 0 1' 2' 4'

5 DEMOLITION AND WORK ITEMS, GENERAL NOTES
A-201 NO SCALE

6 PHOTOS
A-201 NO SCALE

REV.	DESCRIPTION	DR'N	CHK'D	DATE
A	ISSUED FOR CLIENT REVIEW	JK		07/12/19
B	ISSUED FOR BIDDING	MR		09/19/19

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PROJECT DESCRIPTION: **NORTH EXTERIOR WALL REPAIRS AND WINDOW REPLACEMENT**
DRAWING TITLE: **NORTH ELEVATION AND DETAILS**

DRAWN BY: JK
DATE DRAWN: 06-27-19
SCALE: AS NOTED
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CAD CODE: TOL-8-004-A-201.dwg
GRAPHIC SCALE: _____

PROJECT NUMBER: TOL-8-004

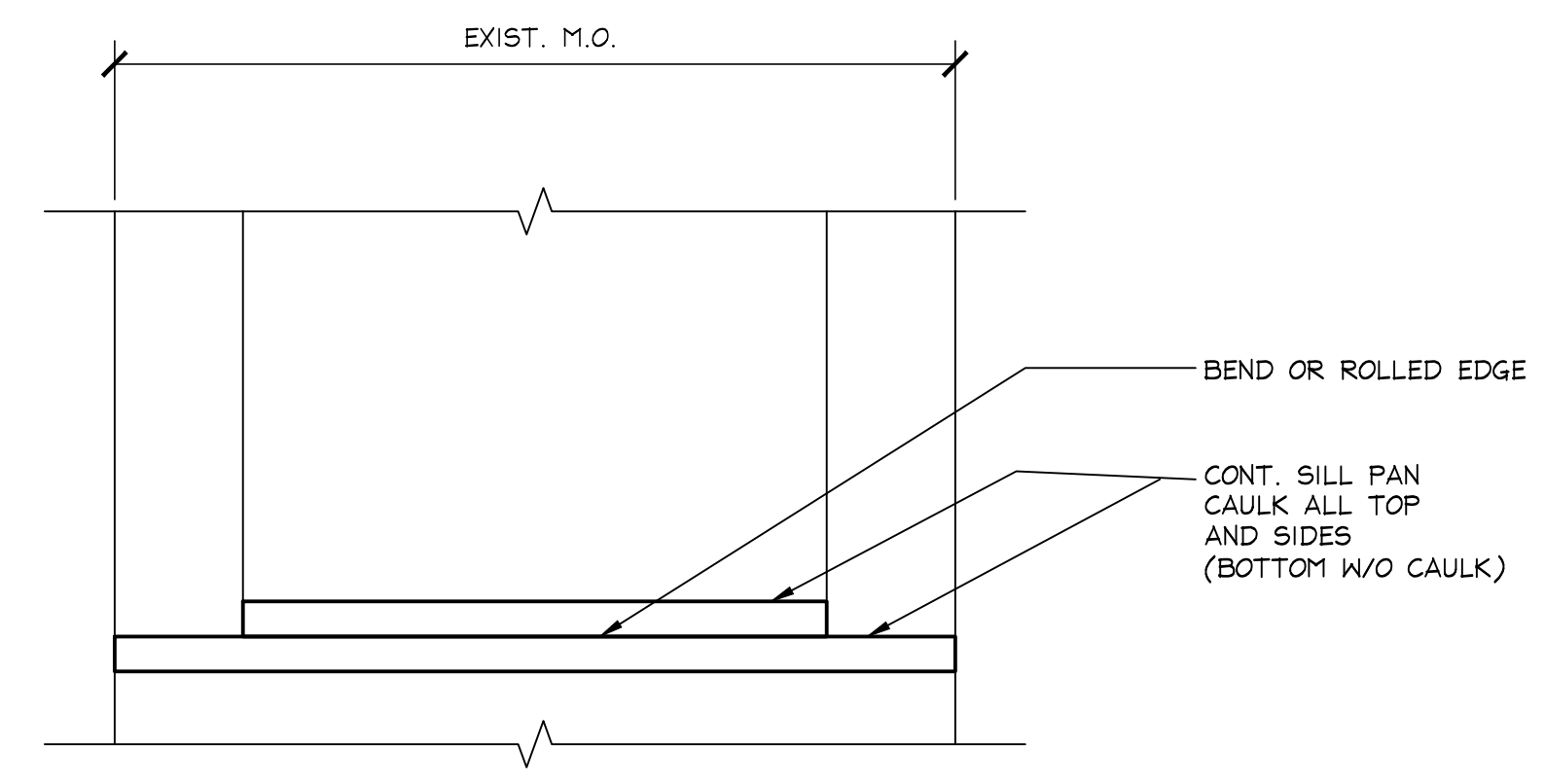
DRAWING NUMBER	REV.
A-201	B

NOTE:
 THE THREE (3) NEW WINDOW UNITS ARE STORED, ON-SITE, IN THE BASEMENT OF THE LIBRARY.
 CONTRACTOR SHALL USE THESE UNITS FOR INSTALLATION.
 CONTRACTOR TO PROVIDE PREFINISHED METAL COIL STOCK TO COMPLETE THE INSTALLATION.

WINDOW SCHEDULE											
TYPE	IDENTIFICATION			FRAME SIZE		GLASS	ENERGY CODE INPUT			HEAD/SILL	REMARKS
	MANUFACTURER	STYLE	CAT. NO.	WIDTH	HEIGHT		MAX. SHGC	MAX. U-FACTOR	MAX. AIR LEAKAGE (CFM/SQ.FT)		
FIRST FLOOR NORTH (1N#)											
1N4	-	FIXED	-	3'-2 1/2"	5'-5 1/2"	CLR/ TEMP	.53	.38	.20	-	EXISTING, ON SITE
SECOND FLOOR NORTH (2N#)											
2N4	-	DH	-	3'-6 1/4"	6'-9 1/4"	CLR	.53	.45	.20	-	EXISTING, ON SITE
2N5	-	DH	-	3'-6 1/4"	6'-9 1/4"	CLR	.53	.45	.20	-	EXISTING, ON SITE

- ENERGY CODE NOTES:** (ALL WINDOWS AND DOORS)
- MAX. SHGC AS PER TABLE C402.4 AND C402.4.3 OF IECC-2015 WITH MA AMENDMENTS.
 - MAX. U-FACTOR AS PER TABLE C402.4 AND C402.4.3 OF IECC-2015 WITH MA AMENDMENTS.
 - MAX. AIR LEAKAGE AS PER TABLE C402.5.2 OF IECC-2015 WITH MA AMENDMENTS. (.3 IF TESTED PER CODE REFERENCE IN TABLE)

- LEGEND (ALL WINDOWS)**
- OWN - ORIGINAL WOOD WINDOW (WOOD COMPONENTS, STORM WINDOWS, WEIGHT POCKETS AND WEIGHTS)
 - EWS - EXISTING WRAPPED SILL (METAL)
 - CLR - CLEAR
 - TEMP - TEMPERED GLAZING



Hill
 engineers
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 Dalton, MA 01226
 (413) 684-0925

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PRELIMINARY

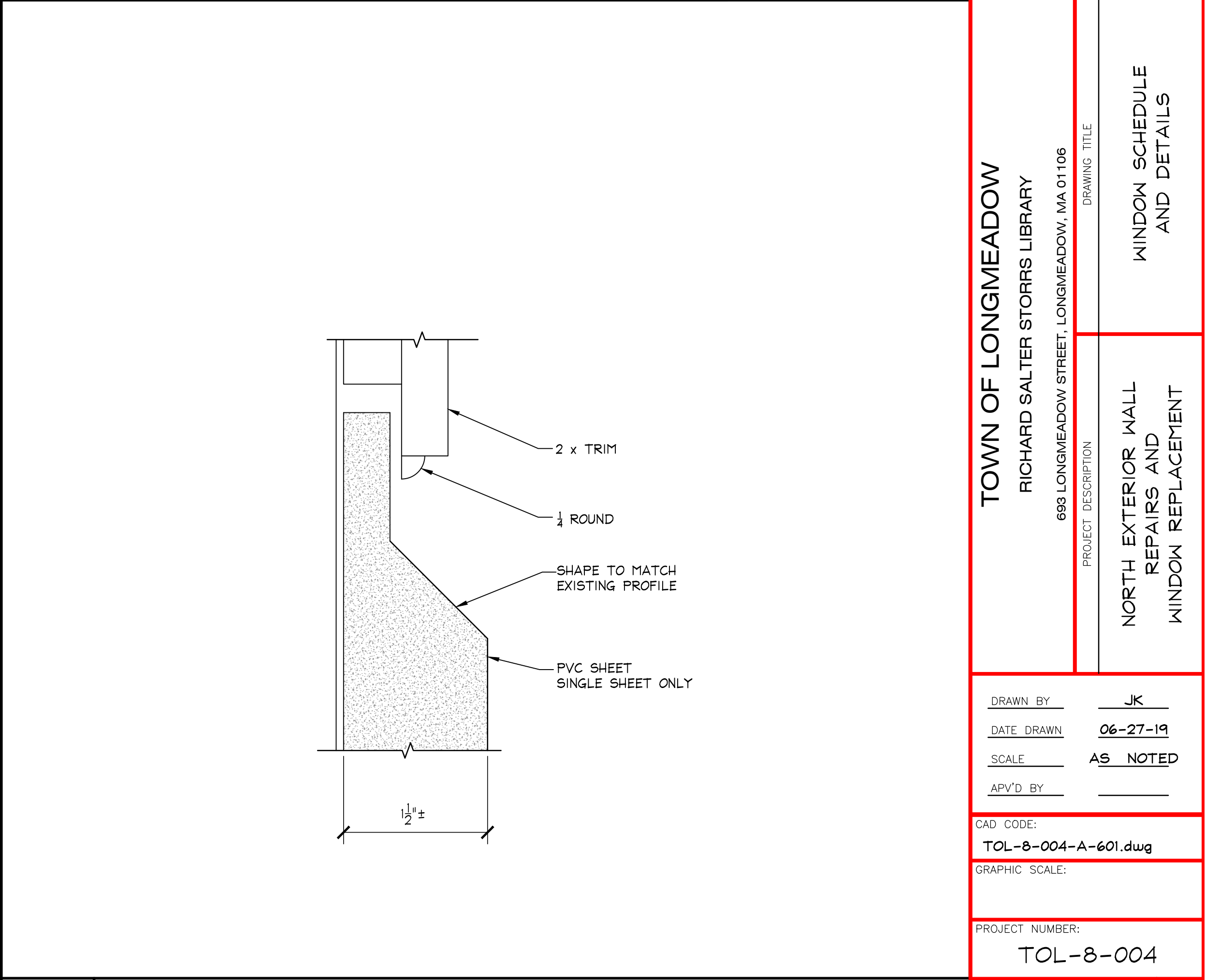
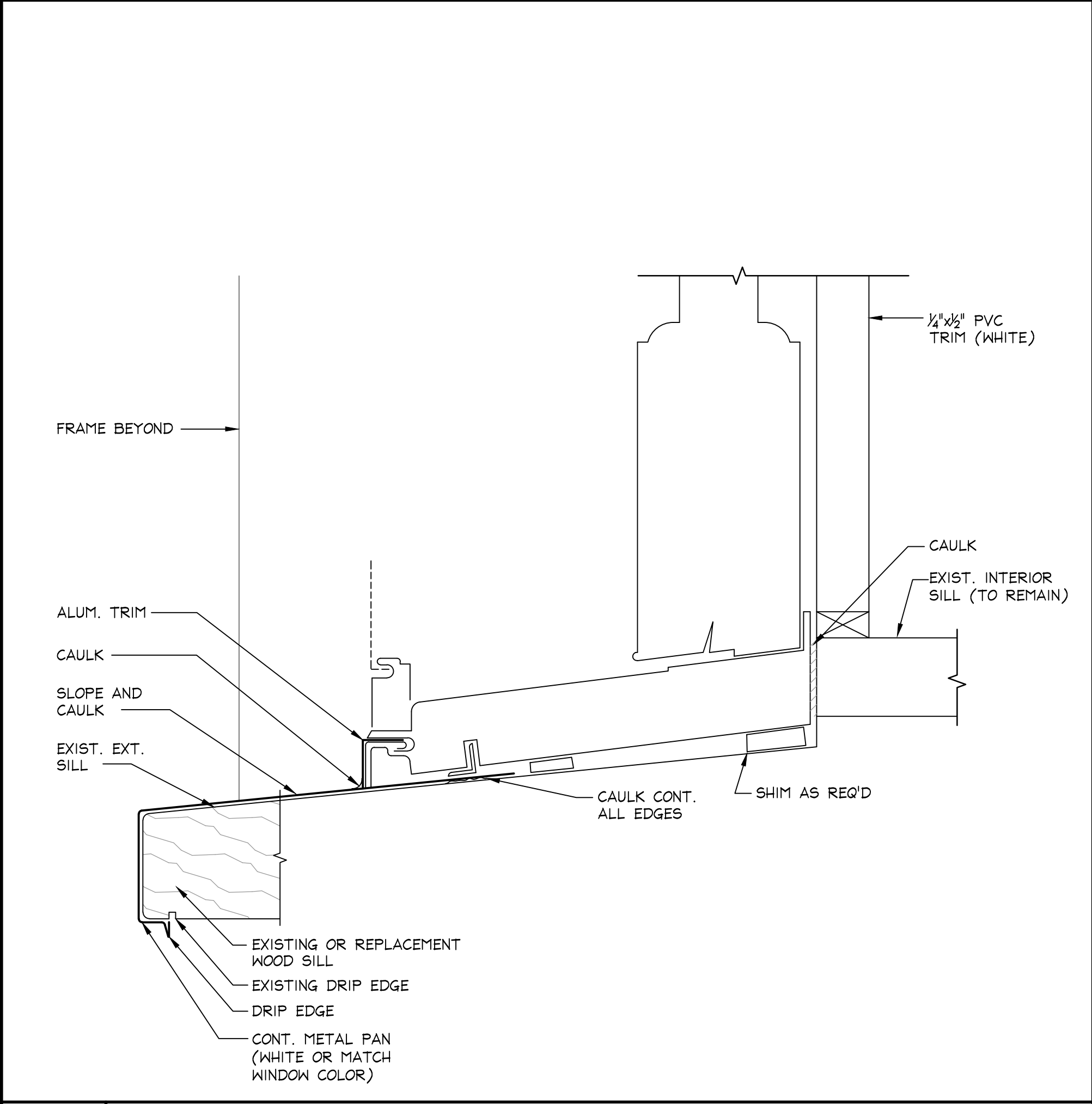
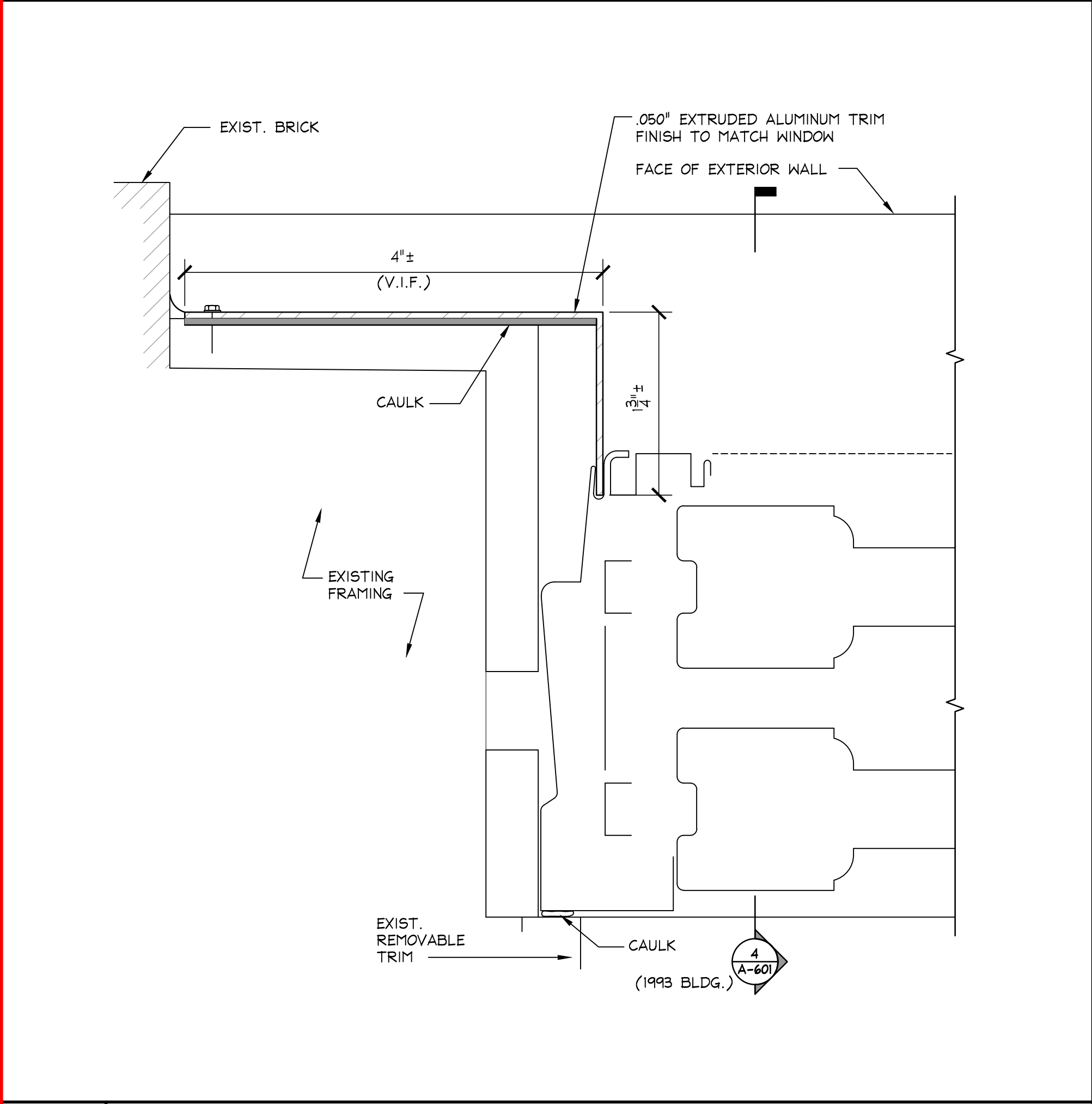
NOT TO BE
 USED FOR
 CONSTRUCTION

REV.	DESCRIPTION	DRN. CK'D.	DATE
A	ISSUED FOR CLIENT REVIEW	JK	07/12/19
B	ISSUED FOR BIDDING	MKR	08/19/19

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1 WINDOW SCHEDULES
 A-601 NO SCALE

2 DETAIL
 A-601 NO SCALE



3 PLAN DETAIL
 A-601 NO SCALE

4 DETAIL @ WINDOWS IN THE 1993 BUILDING ADDITION
 A-601 NO SCALE

5 PANEL EDGE DETAIL
 A-601 NO SCALE

TOWN OF LONGMEADOW
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PROJECT DESCRIPTION: **NORTH EXTERIOR WALL REPAIRS AND WINDOW REPLACEMENT**
 DRAWING TITLE: **WINDOW SCHEDULE AND DETAILS**

DRAWN BY: JK
 DATE DRAWN: 06-27-19
 SCALE: AS NOTED
 APV'D BY: _____

CAD CODE: TOL-8-004-A-601.dwg
 GRAPHIC SCALE: _____

PROJECT NUMBER: TOL-8-004

DRAWING NUMBER	REV.
A-601	B

S:\CAD\CURRENT\TOL-8-004-Storrs_north_windows\SETUP\DRAWINGS\CAD Files\TOL-8-004-A-601.dwg, 8/19/2019 9:05:59 AM, ksoodan, 1:1

PRELIMINARY

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USED FOR
CONSTRUCTION



1 WINDOW IN4
A-901 NO SCALE

2 WINDOW 2N4
A-901 NO SCALE

3 WINDOW 2N5
A-901 NO SCALE



4 WINDOW ASSEMBLY A PHOTOGRAPHS
A-901 NO SCALE

5 WINDOW ASSEMBLY B PHOTOGRAPHS
A-901 NO SCALE

REV.	DESCRIPTION	DRN CK'D	DATE
A	ISSUED FOR CLIENT REVIEW	JK	07/12/19
B	ISSUED FOR BIDDING	MJK	09/19/19

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TOWN OF LONGMEADOW
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693 LONGMEADOW STREET, LONGMEADOW, MA 01106

PROJECT DESCRIPTION
**NORTH EXTERIOR WALL
REPAIRS AND
WINDOW REPLACEMENT**

DRAWING TITLE
PHOTOGRAPHS

DRAWN BY JK
DATE DRAWN 06-27-19
SCALE AS NOTED
APV'D BY _____

CAD CODE:
TOL-8-004-A-901.dwg

PROJECT NUMBER:
TOL-8-004

DRAWING NUMBER	REV.
A-901	B