# TOWN OF LONGMEADOW

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# ROOF REPLACEMENT AND REPAIRS

DRAWING LIST	DRAWING TITLE	<u>REVISION</u>	ISSUE DATE
G-001	TITLE SHEET	В	03/12/21
G-002	CHAPTER 34 REPORT	В	03/12/21
A-101 A-102	ROOF PLANS ROOF PLAN	В В	03/12/21 03/12/21
A-301	ROOF SECTION DETAILS	В	03/12/21
A-501	ROOF DETAILS	В	03/12/21
A-502	ROOF DETAILS	В	03/12/21

LIST OF PROJECT ALTERNATES: <u>ALTERNATE NO. 1</u> GUTTER RE-LINING ALTERNATE NO. 2 SLATE ROOF REPAIRS

## GENERAL NOTES (ALL TRADES)

THE CONTRACTOR SHALL INCLUDE ALL TAXES (STATE AND FEDERAL).

ALL WORK SHALL COMPLY WITH STATE AND LOCAL CODES AND ORDINANCES. THE CONTRACTOR(S) SHALL APPLY FOR ALL PERMITS, AND SHALL PAY ALL PERMIT RELATED FEES. ALL NECESSARY PERMITS SHALL BE OBTAINED PRIOR TO THE START OF WORK, AND THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR OBTAINING THE "OCCUPANCY CERTIFICATE" PRIOR TO OCCUPANCY.

- 2. CONTRACTOR(S) SHALL PROVIDE ALL NECESSARY SERVICE ON ALL MATERIALS AND WORKMANSHIP PROVIDED UNDER THIS CONTRACT FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE OF FINISHED INSTALLATION AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR(S) SHALL EXTEND ALL AVAILABLE WARRANTIES ON THE EQUIPMENT IN WRITING TO THE OWNER.
- 3. THE CONTRACTOR(S) SHALL MAINTAIN THE JOB CLEAR OF TRASH AND DEBRIS, AND SHALL PRESENT THE PROJECT TO THE OWNER FOR FINAL ACCEPTANCE CLEAN AND READY FOR OCCUPANCY. ALL GLASS AND METAL FRAMES SHALL BE CLEANED, ALL LABELS REMOVED, FLOORS SWEPT BROOM CLEAN, CARPET VACUUMED AND THE PROJECT AREA LEFT FREE OF TRASH AND DEBRIS.
- 4. TEMPORARY FACILITIES FOR PROTECTION OF TOOLS AND EQUIPMENT SHALL CONFORM TO LOCAL REGULATIONS AND SHALL BE THE CONTRACTOR(S) RESPONSIBILITY.
- . THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. SAFETY, CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION, AND COMPLIANCE WITH STATE AND FEDERAL REGULATIONS REGARDING SAFETY SHALL BE THE CONTRACTOR(S)
- 6. THE CONTRACTOR AND HIS SUB-CONTRACTORS SHALL VISIT THE SITE AND BECOME FAMILIAR WITH ALL CONDITIONS PRIOR TO SUBMITTING HIS PROPOSAL. CLAIMS FOR EXTRA PAYMENT WILL NOT BE ALLOWED BECAUSE OF UNFAMILIARITY WITH THE WORK TO BE PERFORMED BY OTHER TRADES, EXISTING CONDITIONS AT THE JOB SITE, LOCAL, STATE OR FEDERAL LAWS, OR ALTERATIONS DUE TO FIELD CONDITIONS.
- CONTRACTOR(S) SHALL VERIFY ALL DIMENSIONS IN BOTH HORIZONTAL AND VERTICAL PLANES AND CONDITIONS SHOWN ON THE CONTRACT DOCUMENTS WITH THOSE ON THE JOB PRIOR TO COMMENCEMENT OF ANY WORK. ANY VARIATION WHICH REQUIRES PHYSICAL CHANGE SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER.
- 8. THE CONTRACTOR AND HIS SUB-CONTRACTORS SHALL IMMEDIATELY CONTACT THE ARCHITECT/ENGINEER AND PROVIDE A SHOP DRAWING/SKETCH FOR DETERMINATION, SHOULD HE FIND ANY CONFLICT OR INCONSISTENCY BETWEEN THE WORK SHOWN ON THE CONTRACT DOCUMENTS AND NORMAL ACCEPTED CONSTRUCTION PRACTICES, OR ASSUME RESPONSIBILITY FOR ALL CORRECTIONS.
- I. MODIFICATIONS REQUIRED FOR ANY REVISIONS TO THE CONTRACT DOCUMENTS INITIATED BY THE CONTRACTOR OR SUB-CONTRACTOR WITHOUT PRIOR WRITTEN APPROVAL BY THE ARCHITECT/ENGINEER SHALL BE ACCOMPLISHED AT THE CONTRACTOR(S) RISK.

- 10. DO NOT SCALE OFF DRAWINGS FOR ANY PURPOSE.
- 11. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO OWNER/PLANT STANDARDS, AS A MINIMUM, OR THESE DRAWINGS, WHICHEVER IS MORE STRINGENT.
- 12. ALL STAIRS AND CORRIDORS AND MEANS OF EGRESS ROUTES SHALL REMAIN ACCESSIBLE AT
- 13. PROVIDE SELF ADHERING WALK-OFF MATS AT ALL ENTRY/EXIT LOCATIONS. MAINTAIN AND REPLACE AS REQUIRED THROUGHOUT CONSTRUCTION.
- 14. EXISTING CONSTRUCTION NOT SCHEDULED FOR WORK SHALL BE PROTECTED THROUGHOUT CONSTRUCTION. INCLUDING BUT NOT LIMITED TO FIRE ALARM PULL STATIONS, HORNS, STROBES, THERMOSTATS, PARTITIONS, CEILINGS, FLOOR FINISHES, AND FURNISHINGS.
- 15. CONTRACTOR(S) SHALL SUBMIT FOUR (4) COPIES OF CATALOG CUT SHEETS FOR ALL MATERIALS TO THE ARCHITECT/ENGINEER FOR APPROVAL BEFORE ANY WORK IS TO BEGIN. NO CHANGES OR SUBSTITUTIONS ALLOWED WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT/ENGINEER OR OWNER.
- 16. CONTRACTOR(S) SHALL COORDINATE WITH OTHER TRADES TO ELIMINATE ANY INTERFERENCES WITH PIPES, DUCTS, ETC.
- 17. ALL CONSTRUCTION COMPONENT, EQUIPMENT/SYSTEMS AND SUBMITTALS SHALL COMPLY WITH THE ENERGY CODE OF THE STATE IN WHICH THE BUILDING IS LOCATED.
- 18. IT IS THE INTENTION OF THE DRAWINGS TO CALL FOR FINISHED WORK, TESTED, AND READY FOR OPERATION.
- 19. ACCESSIBLE ACCESSORIES/DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE STATE CODE IN WHICH THE BUILDING IS LOCATED.

20. MISCELLANEOUS DEFINITIONS:

RECOMMENDATIONS FOR INSTALLATION.

"FURNISH" MEANS SUPPLY AND DELIVER TO THE PROJECT SITE OR OTHER DESIGNATED LOCATION, READY FOR UNLOADING, UNPACKING, STORING, ASSEMBLY, INSTALLATION, APPLICATION, ERECTION, OR OTHER FORM OF INCORPORATION INTO THE PROJECT, AND MAINTAINED READY FOR USE. SUPPLY AND DELIVER PRODUCTS REQUIRING ADDITIONAL OR SUPPLEMENTAL FITTING, ASSEMBLY, FABRICATION, OR INCORPORATION INTO OTHER ELEMENTS OF THE PROJECT DIRECTLY TO THE FABRICATOR, INSTALLER OR MANUFACTURER AS REQUIRED. "INSTALL" MEANS UNLOAD, UNPACK, USE, FIT, ATTACH, ASSEMBLE, APPLY, PLACE, ANCHOR, ERECT, FINISH, CURE, PROTECT, CLEAN, AND SIMILAR OPERATIONS REQUIRED TO PROPERLY INCORPORATE WORK INTO THE PROJECT.

"PROVIDE" MEANS FURNISH AND INSTALL COMPLETE, AND READY FOR USE. PROVIDE ANY AND ALL ITEMS NECESSARY TO COMPLETE THE SYSTEMS. 21. WHERE PRE-MANUFACTURED COMPONENTS/DEVICES/EQUIPMENT (ETC.) ARE IDENTIFIED, THE

CONTRACTOR SHALL STRICTLY FOLLOW ALL MANUFACTURER INSTRUCTIONS AND

22. ANY DAMAGE TO EXISTING UTILITIES, STRUCTURES, FINISHES OR PROPERTY MUST BE REPORTED TO THE OWNER FOR REVIEW AND DIRECTION AS TO THE REPAIR, REPLACEMENT OR ABANDONMENT AT THE CONTRACTOR'S EXPENSE

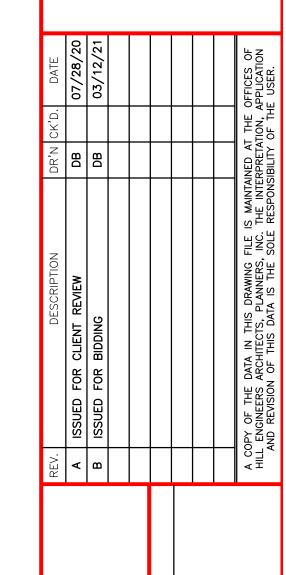
# <u>DEMOLITION NOTES (ALL TRADES)</u>

- 1. CONTRACTOR SHALL ERECT ALL SAFETY BARRICADES AND POST PROPER NOTICES PRIOR TO COMMENCING WORK.
- 2. GC SHALL COORDINATE ALL SUBCONTRACTOR DEMOLITION, CUTTING, PATCHING, ETC.
- 3. ITEMS TO BE REMOVED SHALL BE CLEANLY CUT BACK TO THE LIMITS SHOWN ON THE DRAWINGS, OR AS DIRECTED BY THE OWNER REPRESENTATIVE OR ARCHITECT
- 4. DEMOLISH ALL WORK IN A SAFE MANNER AND PROTECT ALL WORK WHICH IS TO REMAIN. RESTORE ALL CONDITIONS WHICH BECOME DAMAGED, THAT ARE NOT SCHEDULED TO BE DEMOLISHED, TO THEIR ORIGINAL STATE.
- 5. CONTRACTOR SHALL ERECT DUST PARTITION/PROTECTION BARRIERS TO PROTECT ADJACENT AREAS TO REMAIN, AND CONTRACTOR SHALL CLEAN THOSE AREAS WHICH HAVE BECOME
- CONTRACTOR SHALL COMPLY WITH RULES AND REGULATIONS ESTABLISHED BY GOVERNMENTAL AGENCIES TO PROPERLY TRANSPORT DEMOLITION MATERIALS USING CONTAINERS DESIGNED FOR PARTICULAR WASTE TO APPROVED DISPOSAL SITES. CONTRACTOR SHALL OBTAIN ALL PERMITS AND PAY ALL FEES. DEBRIS SHALL BE REMOVED ON A DAILY BASIS.
- 7. CONTRACTOR SHALL IMMEDIATELY HALT WORK AND NOTIFY ARCHITECT/ENGINEER IF HAZARDOUS MATERIAL IS FOUND DURING DEMOLITION.
- 8. COORDINATE WITH OWNER FOR THOSE ITEMS WHICH ARE TO BE TURNED OVER TO OWNER, OR THOSE ITEMS WHICH ARE TO BE REMOVED BY OWNER.
- 9. COORDINATE WITH OWNER FOR WORK NEAR MACHINERY/EQUIPMENT AND BUILDING SYSTEMS AND FOR HVAC, PLUMBING OR ELECTRICAL SHUT DOWNS PRIOR TO DEMOLITION.
- 10. ALL ELECTRICAL POWER SHALL BE DISCONNECTED AND TEMPORARY LIGHTING PROVIDED PRIOR TO DEMOLITION.
- 11. PRIOR TO CORE DRILLING CONCRETE FLOOR SLABS, CONTRACTOR SHALL PERFORM X-RAY OR RADAR CHECKING FOR EXISTING OBSTRUCTIONS. PROCEEDING WITH WORK WITHOUT VERIFICATION WILL BE AT THE CONTRACTOR'S RISK AND EXPENSE.



# PRELIMINARY

NOT TO BE USED FOR CONSTRUCTION



DATE DRAWN

TOL-8-008-G-001.dwg

<u>07/22/20</u>

AS NOTED

OJECT NUMBER:

TOL-8-008 DRAWING NUMBER

NORTH

LOCUS PLAN

- PROJECT LOCATION

WILLIAMS ST

G-001

N.T.S.

#### 780 CMR 9th Edition Chapter 34.00 Analysis and Report Prescriptive Compliance Method

- As per the 9th Edition of 780 CMR 34.00, effective 1/01/18, the Existing Building Code in Massachusetts is, by adoption, the International Existing Building Code-2015 (IEBC-2015) with Massachusetts
- As per 780 CMR Chapter 34.00 Section 101.1, these regulations shall be known as the Existing Building
- Code of Massachusetts, hereinafter referred to as 780 CMR 34.00. • The proposed work is controlled construction as per 780 CMR Section 107. This written report details the results of an investigation and evaluation of the existing building in accordance with the stipulations of
- This report assumes that there are no outstanding notices of violations or other orders from the building official concerning the condition or use of the subject building. (780 CMR Section 102.6.4 Existing Means of Egress, Lighting and Ventilation).
- This report is intended to be submitted to the building official as a necessary precondition of the issuance of a building permit.

#### Reference Data

The building is a Library – Assembly A-3 Use and Occupancy It has two stories with a partial basement.

 Original Building Constructed circa 1933 / Type III-B Construction Addition Constructed circa 1993 / Type V-B Construction

#### Non-separated and non-sprinklered.

Basement Area: 3,885 SF First Floor Area: 9,200 sf Second Floor Area: 8,600 sf Project Description

### The project scope includes the following Work:

780 CMR 34.00 Section 101.4.2.2.1.

"Roof Recover: Installing an additional roof covering over a prepared existing roof covering without removing the existing roof covering. (Refer to definitions in 780 CMR Section 202.)

The locations are: 1933 Original Building 500 sf (approx.) South 1933 Original Building 500 sf (approx.)

 1993 Building Addition Entrance 200 sf (approx.) • 1993 Building Addition Easterly Stair 125 sf (approx.)

Occupancy Category of Building or Structure (from 780 CMR, Table 1604.5)

#### Occupancy Category II: Seismic Design Category (from 780 CMR Section 1613.3.5)

 Table 1613.3.5 (1): B • Table 1613.3.5 (2): **B** 

Minimum Roof Covering Fire Classification (Table 1505.1) Class B

Basic Wind Speed and Ultimate Design Wind Speed (Table 1604.11 and Figure 1609.3)

#### 120 mph **Ground Snow Load** (Table 1604.11)

Minimum Flat Roof Snow Load (Table 1604.11)

100-Year Hourly Rainfall Rate (Figure 1611.1)

Chapter 1 - Scope and Administration

### Part 1-Scope and Application

new construction.

Section 101 General

These regulations shall be known as the Existing Building Code of Massachusetts, hereinafter referred to as

- The provisions of the International Existing Building Code of Massachusett-2015 shall apply to the repair, alteration, change of occupancy, addition to and relocation of existing buildings.
- 1. If requirements in 780 CMR 34.00 conflict with similar requirements in 780 CMR 1.00 Scope and Administration, then 780 CMR 1.00 controls.
- 2. When 780 CMR 34.00 references requirements in other I-Codes, see 780 CMR 1.00 Scope and dministration for guidance on how to use those I-Codes. 3. Requirements in 780 CMR 34.00 for plumbing, fuel gas, electrical, elevators, fire, or accessibility
- shall be replaced by the requirements of the Massachusetts specialty codes, as indicated in 780 CMR 1.00: Scope and Administration.

The intent of this code is to provide flexibility to permit the use of alternative approaches to achieve compliance with minimum requirements to safeguard the public health, safety and welfare insofar as they are affected by the repair, alteration, change of occupancy, addition and relocation of existing buildings.

This code shall apply to the repair, alteration, change of occupancy, addition and relocation of existing buildings, regardless of occupancy, subject to the criteria of Sections 101.4.1 and 101.4.2.

101.4.1 Buildings Not Previously Occupied. A building or portion of a building that has not been previously occupied or used for its intended purpose ir accordance with the laws in existence at the time of its completion shall be permitted to comply with the provisions of the laws in existence at the time of its original permit unless such permit has expired. Subsequent permits shall comply with the 780 CMR 1.00 through 35.00 or 780 CMR 51.00, as applicable, for 101.4.2 Buildings Previously Occupied. The legal occupancy of any building existing on the date of adoption of this code (10/20/17) shall be permitted to continue without change, except as is specifically covered in this code, 527 CMR or 780 CMR, or as is deemed necessary by the code official for the general safety and welfare of the occupants and the

101.5 Safeguards During Construction. onstruction work covered in this code, including any related demolition, shall comply with the requirements

The code official is authorized to require rehabilitation and retrofit of buildings, structures or individual structural members in accordance with the appendices of this code if such appendices have been individually

101.7 Correction of Violations of Other Codes. Repairs or alterations mandated by any property, housing, or fire safety maintenance code or mandated by any licensing rule or ordinance adopted pursuant to law shall conform only to the requirements of that code rule, or ordinance and shall not be required to conform to this code unless the code requiring such repair or

#### Part 2-Administration and Enforcement

Section 104 Duties and Powers of Code Official 104.2.2.1 Building Investigation and Evaluation. For any proposed work regulated by 780 CMR 34.00 and subject to section 107 of 780 CMR, as a condition of the issuance of a permit, the building owner shall cause the existing building (or portion thereof) to be investigated and evaluated in accordance with the provisions of 780 CMR 34.00. The investigation and evaluation shall be in sufficient detail to ascertain the effects of the proposed work on at least these systems structural, means of egress, fire protection, energy conservation, lighting, hazardous materials, accessibility, and ventilation for the space under consideration and, where necessary, the entire building or structure and its foundation if impacted by the proposed work. The results of the investigation and evaluation, along with any

proposed compliance alternatives, shall be submitted to the building official in written report form. In brief, the following table indicates the effects of the proposed work on the above listed systems:

Structural Design Gravity Load -None Structural Lateral Load Capacity -None Means of Egress Fire Protection Fire Resistive Construction -None Energy Conservation Lighting Hazardous Materials Accessibility Ventilation

The following report expands on the above list and documents the results of the investigation and evaluation of the subject building or structure, along with any proposed compliance alternatives

Not Applicable

104.10.1 Flood Hazard Areas. For existing buildings located in flood hazard areas. Refer to Sections 403.2.

104.11 Compliance Alternative. Not Applicable Where compliance with the provisions of the code for new construction, required by 780 CMR 34.00, is impractical because of construction difficulties or regulatory conflicts, compliance alternatives may be accepte the building official. The building official may accept these compliance alternatives, archaic materials and issemblies in Resource A of 780 CMR 34.00, or others alternatives proposed. If the compliance alternative nvolves fire protection systems, the building official shall consult with the fire official.

Chapter 2 – Definitions Chapter 3 - Provisions for All Compliance Methods Section 301 Administration

Applicable The repair, alteration, change of occupancy, addition or relocation of all existing buildings shall comply with one of the methods listed in Sections 301.1.1 through 301.1.3 as selected by the applicant. • The work of this project shall comply with Section 301.1.1 Prescriptive compliance method, thus complying with Chapter 4 of this code.

Sections 301.1.1 through 301.1.3 shall not be applied in combination with each other.

Where this code requires consideration of the seismic-force-resisting system of an existing building subject to repair, alteration, change of occupancy, addition or relocation of existing buildings, the seismic evaluation and design shall be based on Section 301.1.4 regardless of which compliance method is used.

Exception: Subject to the approval of the code official, alterations complying with the laws in existence at the time the building or the affected portion of the building was built shall be considered in compliance with the provisions of this code unless the building is undergoing more than a limited structural alteration as defined in Section 907.4.4. New structural members added as part of the alteration shall comply with 780 CMR. Alterations of existing buildings in flood hazard areas shall comply with

Automatic sprinkler systems may be required by M.G.L c. 148, Sections 26A, 26A ½, 26G, 26G ½, 26H, or See "Other Pertinent Regulations" below

301.1.1 Prescriptive Compliance Method. Repairs, alterations, additions and changes of occupancy complying with Chapter 4 of this code in buildings complying with the 527 CMR shall be considered in compliance with the provisions of this code.

301.1.2 Work Area Compliance Method. Not Applicable for Prescriptive Compliance Method 301.1.3 Performance Compliance Method. Not Applicable for Prescriptive Compliance Method

301.1.4 Seismic Evaluation and Design Procedures. The seismic evaluation and design shall be based on the procedures specified in 780 CMR, ASCE 41. The procedures contained in Appendix A of this code shall be permitted to be used as specified in Section

301.1.4.1 Compliance with IBC-Level Seismic Forces. Not Applicable Where compliance with the seismic design provisions of 780 CMR is required, the criteria shall be in

1. 780 CMR using 100% of the prescribed forces. Not Applicable

Where compliance with the provisions of the code for new construction, required by 780 CMR 34.00, is impractical because of construction difficulties or regulatory conflicts, compliance alternatives may be accepte the building official. The building official may accept these compliance alternatives, archaic materials and

assemblies in Resource A of 780 CMR 34.00, or others alternatives proposed. If the compliance alternative involves fire protection systems, the building official shall consult with the fire official. Chapter 2 - Definitions

Chapter 3 - Provisions for All Compliance Methods Applicable Section 301 Administration 301.1 General. Applicable The repair, alteration, change of occupancy, addition or relocation of all existing buildings shall comply with one of the methods listed in Sections 301.1.1 through 301.1.3 as selected by the applicant.

thus complying with Chapter 4 of this code. Sections 301.1.1 through 301.1.3 shall not be applied in combination with each other.

Where this code requires consideration of the seismic-force-resisting system of an existing building subject to repair, alteration, change of occupancy, addition or relocation of existing buildings, the seismic evaluation and design shall be based on Section 301.1.4 regardless of which compliance method is used.

• The work of this project shall comply with Section 301.1.1 Prescriptive compliance method,

Not Applicable

Exception: Subject to the approval of the code official, alterations complying with the laws in existence at the time the building or the affected portion of the building was built shall be considered in compliance with the provisions of this code unless the building is undergoing more than a limited structural alteration as defined in Section 907.4.4. New structural members added as part of the *alteration* shall comply with 780 CMR. Alterations of existing buildings in flood hazard areas shall comply with

Automatic sprinkler systems may be required by M.G.L c. 148, Sections 26A, 26A ½, 26G, 26G ½, 26H, or 26I; or by M.G.L. c. 272 Sections 86 through 86D. See sections 101.4.5 and 903.2 of 780 CMR for additional See "Other Pertinent Regulations" below

301.1.1 Prescriptive Compliance Method. Repairs, alterations, additions and changes of occupancy complying with Chapter 4 of this code in buildings complying with the 527 CMR shall be considered in compliance with the provisions of this code.

301.1.3 Performance Compliance Method. Not Applicable for Prescriptive Compliance Method 301.1.4 Seismic Evaluation and Design Procedures. The seismic evaluation and design shall be based on the procedures specified in 780 CMR, ASCE 41 The procedures contained in Appendix A of this code shall be permitted to be used as specified in Section

301.1.2 Work Area Compliance Method. Not Applicable for Prescriptive Compliance Method

301.1.4.1 Compliance with IBC-Level Seismic Forces. Not Applicable Where compliance with the seismic design provisions of 780 CMR is required, the criteria shall be in accordance with one of the following:

1. 780 CMR using 100% of the prescribed forces. Not Applicable 302.4 New and Replacement Materials Except as otherwise required or permitted by this code, materials permitted by the applicable code for new construction shall be used. Like materials shall be permitted for repairs and alterations, provided no unsafe condition is created. Hazardous materials shall not be used where the code for new construction would not

permit their use in buildings of similar occupancy, purpose and location. 302.5 Occupancy and Use. When determining the appropriate application of the referenced sections of this code, the occupancy and use of a building shall be determined in accordance with Chapter 3 of 780 CMR.

302.6 Masonry Parapet Not Applicable - Parapets do not exceed 2.5:1 ratio The following exception applies to requirements in 780 CMR 34.00 for masonry parapets: Exception: If the height-to-thickness ratio of an unbraced unreinforced masonry parapet does not exceed 2.5, then bracing is not required. For the purpose of this exception, the height shall be measured from either the level of tension anchors or the roof sheathing, whichever is lower.

302.7 Structural Requirements Pertaining to Roof Work.

1. Structural requirements of parapets of unreinforced masonry required by section 403.5 and 707.3.1 of 780 CMR 34.00 shall only apply when the intended alteration requires a permit for reroofing and when roof covering is removed from the entire roof diaphragm and not by the 25% roof area trigger found in sections 403.5 and 707.3.1 of 780 CMR 34.00. 2. Structural requirements of roof diaphragms resisting wind loads in high-wind regions required by sections 403.8 and 707.3.2 of 780 CMR 34.00, when the intended alteration requires a permit for reroofing, shall only apply when roof covering is removed from the entire roof diaphragm and the building is located where the ultimate design wind speed is greater than 150 mph and the building is Risk Category IV in accordance with Table 1604.5 of 780 CMR. **Not Applicable** 

302.8 Structural Requirements Pertaining to Major Alterations. Not Applicable 1. Structural requirements required by section 403.6 and 907.4.5 of 780 CMR 34.00 for unreinforced masonry walls shall apply to buildings in seismic design category B in addition to categories C, D, E and 2. Structural requirements required by section 403.7 and 907.4.6 of 780 CMR 34.00 for unreinforced

302.9 Provisions for Change in Occupancy Classification to R, I or E Use. Not Applicable

302.10 Fire Detection Systems in R-2 Uses Which Are Not Currently Equipped with Sprinklers. When 780 CMR 34.00 requires a smoke detection system in an R-2 Use and does not additionally require an NFPA 13, 13R or 13D system installed throughout the building, then subsections 302.10.1 through 302.10.3 Not Applicable

masonry parapets shall apply to buildings in seismic design category  $\boldsymbol{B}$  in addition to categories  $\boldsymbol{C},\boldsymbol{D},\boldsymbol{E}$ 

Applicable Chapter 4 - Prescriptive Compliance Method Section 401 General Applicable The provisions of this chapter shall control the alteration, repair, addition and change of occupancy or relocation of existing buildings and structures, including historic buildings and structures as referenced in Section 301.1.1.

Exception: Existing bleachers, grandstands and folding and telescopic seating shall comply

Not Applicable

401.1.1 Compliance with Other Methods. Alterations, repairs, additions and changes of occupancy to or relocation of, existing buildings shall comply with the provisions of this chapter or with one of the methods provided in Section 301.1.

Materials already in use in a building in compliance with requirements or approvals in effect at the time of their erection or installation shall be permitted to remain in use unless determined by the building official to be unsafe per Section 115.

Building Materials and systems shall comply with the requirements of this section.

401.2 Building Materials and Systems.

401.2.2 New and Replacement Materials. Except as otherwise required or permitted by this code, materials permitted by the applicable code for new construction shall be used. Like materials shall be permitted for repairs and alterations, provided no hazard to life, health or property is created. Hazardous materials shall not be used where the code for new construction would not permit their use in buildings of similar occupancy, purpose and location.

401.2.3 Existing Seismic Force-Resisting Systems. Where the existing seismic force-resisting system is a type that can be designated ordinary, values of R, Omega<sub>0</sub>, and C<sub>d</sub> for the existing seismic force-resisting system shall be those specified by 780 CMR for an ordinary system unless it is demonstrated that the existing system will provide performance equivalent to that of a detailed, intermediate or special system.

401.3 Dangerous Conditions. Not Applicable The building official shall have authority to require the elimination of conditions deemed dangerous.

Section 402 Additions Not Applicable Section 403 Alterations Applicable

Except as provided by Section 401.2 or this section, alterations to any building or structure shall comply with the requirements of 780 CMR for new construction. Alterations shall be such that the existing building or structure is no less conforming to the provisions of 780 CMR than the existing building or structure was prior

Not Applicable An existing stairway shall not be required to comply with the requirements of 780 CMR Section 1011 where the existing space and construction does not allow a reduction in pitch or slope.

Handrails otherwise required to comply with 780 CMR Section 1011.1 shall not be required to comply with the requirements of 780 CMR 1014.6 regarding full extension of the handrails where such extensions would be hazardous due to plan configuration.

For buildings and structures in *flood hazard areas* established by 780 CMR Section 1612.3, or Section R322 of 780 CMR 51, as applicable, any alteration that constitutes substantial improvement of the existing structure shall comply with the flood design requirements for new construction, and all aspects of the existing structure shall be brought into compliance with the requirements for new construction for flood design. Any alterations that do not constitute substantial improvement of the existing structure are not required to comply with the flood design requirements for new construction. Roof Recover is not a substantial improvement.

403.3 Existing Structural Elements Carrying Gravity Load. Not Applicable - Structural elements shall no increase in design gravity load in excess 5% shall comply.

Any existing gravity load-carrying structural element for which an alteration causes an increase in design gravity load of more than 5 percent shall be strengthened, supplemented, replaced or otherwise altered as needed to carry the increased gravity load required by 780 CMR for new structures. Any existing gravity oad-carrying structural element whose gravity load-carrying capacity is decreased as part of the alteration shall be shown to have the capacity to resist the applicable design gravity loads required by 780 CMR for new

403.3.1 Design Live Load. Where the *alteration* does not result in increased design live load, existing gravity load-carrying structural elements shall be permitted to be evaluated and designed for live loads approved prior to the alteration. If the approved live load is less than that required by 780 CMR Section 1607, the area designated for the nonconforming live load shall be posted with placards of approved design indicating the approved live load Where the *alteration* does result in increased design live load, the live load required by 780 CMR Section 1607 shall be used.

403.4 Existing Structural Elements Carrying Lateral Loads.

Not Applicable

except as permitted by Section 403.5, where the *alteration* increases design lateral loads in accordance with 780 CMR Section 1609 or 1613, or where the alteration results in a prohibited structural irregularity as defined in ASCE 7, or where the *alteration* decreases the capacity of any existing lateral load-carrying structural element, the structure of the altered building or structure shall be shown to meet the requirements of 780 CMR Section 1609 and 1613. For purposes of this section, compliance with ASCE 41, using a Tier 3. procedure and the two-level performance objective in Table 301.1.4.1 for the applicable risk category, shall e deemed to meet the requirements of 780 CMR Section 1613. Exception: Any existing lateral load-carrying structural element whose demand-capacity ratio with the

alteration considered is no more than 10 percent greater than its demand-capacity ratio with the alteration

ignored shall be permitted to remain unaltered. For purposes of calculating demand demand shall consider applicable load combinations with design lateral loads or forces in accordance with 780 CMR Sections 1609 and 1613. For purposes of this exception, comparisons of demand-capacity ratios and calculation of design lateral loads, forces and capacities shall account for the cumulative effects of additions and alterations since original construction. 403.4.1 Seismic Design Category F. Not Applicable Where the portion of the building undergoing the intended alteration exceeds 50 percent of the aggregate area of the building, and where the building is assigned to Seismic Design Category F, the structure of the altered

building shall be shown to meet the earthquake design provisions of 780 CMR. For purposes of this section the earthquake loads need not be taken greater than 75 percent of those prescribed in 780 CMR Section 1613 for new buildings of similar occupancy, purpose and location. New structural members and connections required by this section shall comply with the detailing provisions of this code for new buildings of similar structure, purpose and location. 403.5 Bracing for Unreinforced Masonry Parapets Upon Reroofing. Not Applicable

(Note: This text of this section has been modified to conform to Sections 302.6 and 302.7.1) Where the intended alteration requires a permit for reroofing and involves removal of roofing materials from the entire roof diaphragm of a building assigned to Seismic Design Category D, E or F that has unbraced parapets constructed of unreinforced masonry with a height-to-thickness ratio that exceeds 2.5 (the height being measured from the lower of either the level of tension anchors or the roof sheathing), the work shall

include installation of parapet bracing to resist out-of-plane seismic forces, unless an evaluation demonstrates compliance of such items. For purposes of this section, design seismic forces need not be taken greater than 75 percent of those that would be required for the design of similar nonstructural components in new buildings of similar purpose and location.

403.6 Wall Anchorage for Unreinforced Masonry Walls in Major Alterations. Not Applicable (Note: This text of this section has been modified to conform to Section 302.8.1.) Where the portion of the building undergoing the intended alteration exceeds 50 percent of the aggregate area of the building, and the building is assigned to Seismic Design Category B, C, D, E or F, and the building's structural system includes unreinforced masonry walls, the alteration work shall include installation of wall anchors at the roof line and at floor levels to resist seismic forces, unless an evaluation demonstrates compliance of existing wall anchorage. For purposes of this section, design seismic forces need not be taken greater than 75 percent of those that would be required for the design of new buildings of similar structure, purpose and location.

403.7 Bracing for Unreinforced Masonry Parapets in Major Alterations. Not Applicable (Note: This text of this section has been modified to conform to Sections 302.6 and 302.8.2.) Where the portion of the building undergoing the intended alteration exceeds 50 percent of the aggregate area of the building, and where the building is assigned to Seismic Design Category B, C, D, E or F, parapets constructed of unreinforced masonry with a height-to-thickness ratio that exceeds 2.5 (the height being measured from the lower of either the level of tension anchors or the roof sheathing) shall have bracing installed as needed to resist out-of-plane seismic forces, unless an evaluation demonstrates compliance of such items. For purposes of this section, design seismic forces need not be taken greater than 75 percent of those that would be required for the design of similar nonstructural components in new buildings of similar

403.8 Roof Diaphragms Resisting Wind Loads in High-Wind Regions. Not Applicable (Note: This text of this section has been modified to conform to Section 302.7.2.) Where the intended alteration requires a permit for reroofing and involves removal of roofing material from the entire roof diaphragm of a building or section of a building located where the ultimate design wind speed is greater than 150 mph in accordance with 780 CMR Figure 1609.3(1) or in a special wind region as defined in 780 CMR Section 1609, and the building is in Risk Category IV in accordance with 780 CMR Table 1604.5, roof diaphragms, connections of the roof diaphragm to roof framing members, and roof-to-wall connections shall be evaluated for wind loads specified in 780 CMR Section 1609 including wind uplift. If the diaphragms and connections in their current condition are not capable of resisting at least 75 percent of those wind loads, they shall be replaced or strengthened in accordance with the loads specified in 780 CMR Section

403.9 Voluntary Seismic Improvements. Not Applicable 403.10 Smoke Alarms. Not Applicable Individual sleeping units and individual dwelling units in Group R and I-1 occupancies shall be provided with

smoke alarms in accordance with 527 CMR. Not Applicable Where alterations affect the configuration of an area utilized as a refuge area, the capacity of the refuge area

shall not be reduced below that required in Sections 403.11.1 through 403.11.3. 403.11.1 Smoke Compartments. Not Applicable In Group I-2 and I-3 occupancies, the required capacity of the refuge area for smoke compartments in

403.11.2 Ambulatory Care. In ambulatory care facilities required to be separated by 780 CMR Section 422.2, the required capacity of the refuge areas for smoke compartments in accordance with 780 CMR 422.3.2 shall be maintained. 403.11 3 Horizontal Exits. Not Applicable The required capacity of the refuge area for horizontal exits in accordance with 780 CMR 1026.4 shall be

Section 405 Fire Escapes Not Applicable Section 406 Glass Replacement and Replacement Windows Not Applicable Section 407 Change of Occupancy Not Applicable Section 408 Historic Buildings Not Applicable Section 409 Moved Structures No] Applicable Section 410 Accessibility for Existing Buildings Refer to ACCESSIBILITY COMPLIANCE 521 CMR below for details of design compliance Chapter 5 – Classification of Work

Not Applicable for Prescriptive Compliance Method Not Applicable for Prescriptive Compliance Method Chapter 6 - Repairs Not Applicable for Prescriptive Compliance Method Chapter 7 – Alterations-Level 1 Chapter 8 - Alterations-Level 2 Not Applicable for Prescriptive Compliance Method Chapter 9 - Alterations-Level 3 Not Applicable for Prescriptive Compliance Method Not Applicable for Prescriptive Compliance Method Chapter 10 - Change of Occupancy Chapter 11 - Additions Not Applicable for Prescriptive Compliance Method Not Applicable for Prescriptive Compliance Metl Chapter 12 - Historic Buildings  $\underline{Chapter~13-Relocated~or~Moved~Buildings}~~Not~Applicable~for~Prescriptive~Compliance~Method$ 

Applicable Contractor Shall Comply Chapter 15 - Construction Safeguards

- End of Chapter 34 -

OTHER PERTINENT REGULATIONS

780 CMR 9.00 FIRE PROTECTION SYSTEMS

M.G.L. c. 148, s. 26G – AUTOMATIC SPRINKLER SYSTEMS

915 CARBON MONOXIDE DETECTION (for all R-Uses). Not Applicable

Every building or structure, including any additions or major alterations thereto, which totals, in the aggregate, more than 7,500 gross square feet in floor area shall be protected throughout with an adequate system of automatic sprinklers in accordance with the provisions of the state building code. No such sprinkler system shall be required unless sufficient water and water pressure exists. For purposes of the section, the gross square footage of a building or structure shall include the sum total of the combined floor areas for all loor levels, basements, sub-basements and additions, in the aggregate, measured from the outside walls, irrespective of the existence of interior fire resistive walls, floors, and ceilings. This section shall not apply to buildings used for agricultural purposes as defined in section 1A of chapter 128.

Does not apply – aggregate building area is more than 7500 gsf, however, the work is not considered "major alterations or modifications" as defined by the advisory guidance document issued by Automatic Sprinkler Appeals Board on Oct. 14, 2009. The work area involved amounts to less than 33% of the "total gross square footage" of the building <u>and</u> is less than 33% of the assessed value.

#### ACCESSIBILITY COMPLIANCE - 521 CMR

521 CMR, 3.3 Existing Buildings, 3.3.1. If the work being performed amounts to less than 30% of the full and fair cash value of the building and b. if the work costs \$100,000 or more, then the work being performed is required to comply with 521

**Exception**: Whether performed alone or in combination with each other, the following types of alterations are not subject to 521 CMR 3.3.1, unless the cost of the work exceeds \$500,000 or unless work s being performed on an entrance or toilet. (When performing exempted work, a memo stating the exempted work and its costs must be filed with the permit application or a separate building permit must

CMR. In addition, an accessible public entrance and an accessible toilet room, telephone, drinking

fountain (if toilets, telephones, and drinking fountains are provided) shall also be provided in compliance

- a. Curb Cuts: The construction of curb cuts shall comply with 521 CMR 21.00. Alteration work which is limited solely to electrical, mechanical, or plumbing systems; to abatement of hazardous materials; or retrofit of automatic sprinklers and does not involve the alteration of any elements required to be accessible under 521 CMR. Where electrical outlets and controls are altered, they must comply with 521 CMR.
- e. Roof repair or replacement, window repair or replacement, repointing and masonry repair d. Work relating to septic systems repairs, (including Title V, 310 CMR 15.00 improvements) site

utilities and landscaping.  $521~\mathrm{CMR}$  -Not Applicable - The work being performed is within non-public areas.

-End of Report-

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**PRELIMINARY** NOT TO BE

USED FOR

CONSTRUCTION

DRAWN BY 07/22/20 DATE DRAWN AS NOTED

CAD CODE: TOL-8-008-G-002.dwg

ROJECT NUMBER: TOL-8-008

DRAWING NUMBER G-002

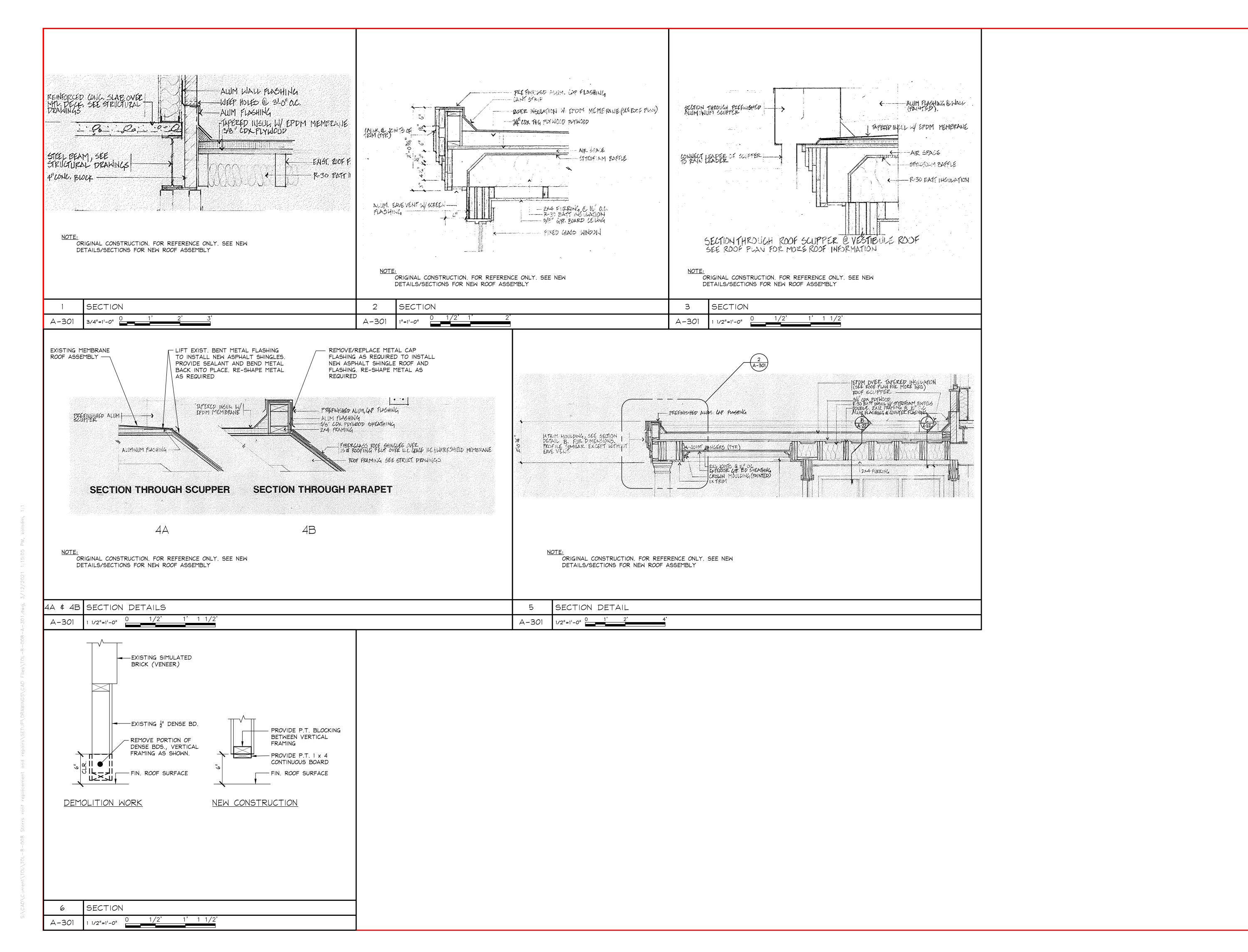
accordance with 780 CMR Sections407.5.1 and 408.6.2 shall be maintained.

Section 404 Repairs Not Applicable

<u>Chapter 14 - Performance Compliance Methods</u> Not Applicable for Prescriptive Compliance Method

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<u>PRELIMINARY</u>

NOT TO BE
USED FOR
CONSTRUCTION

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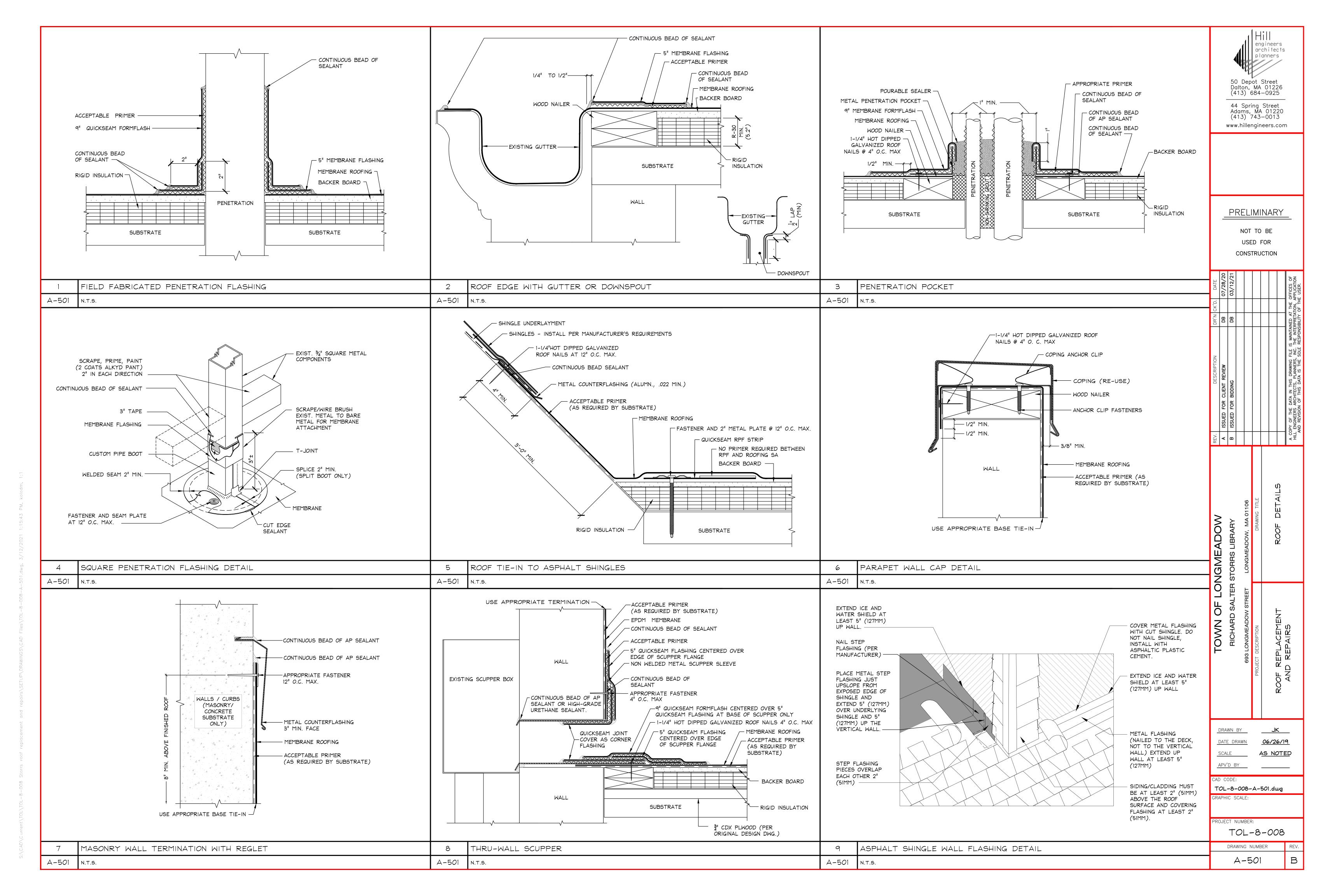
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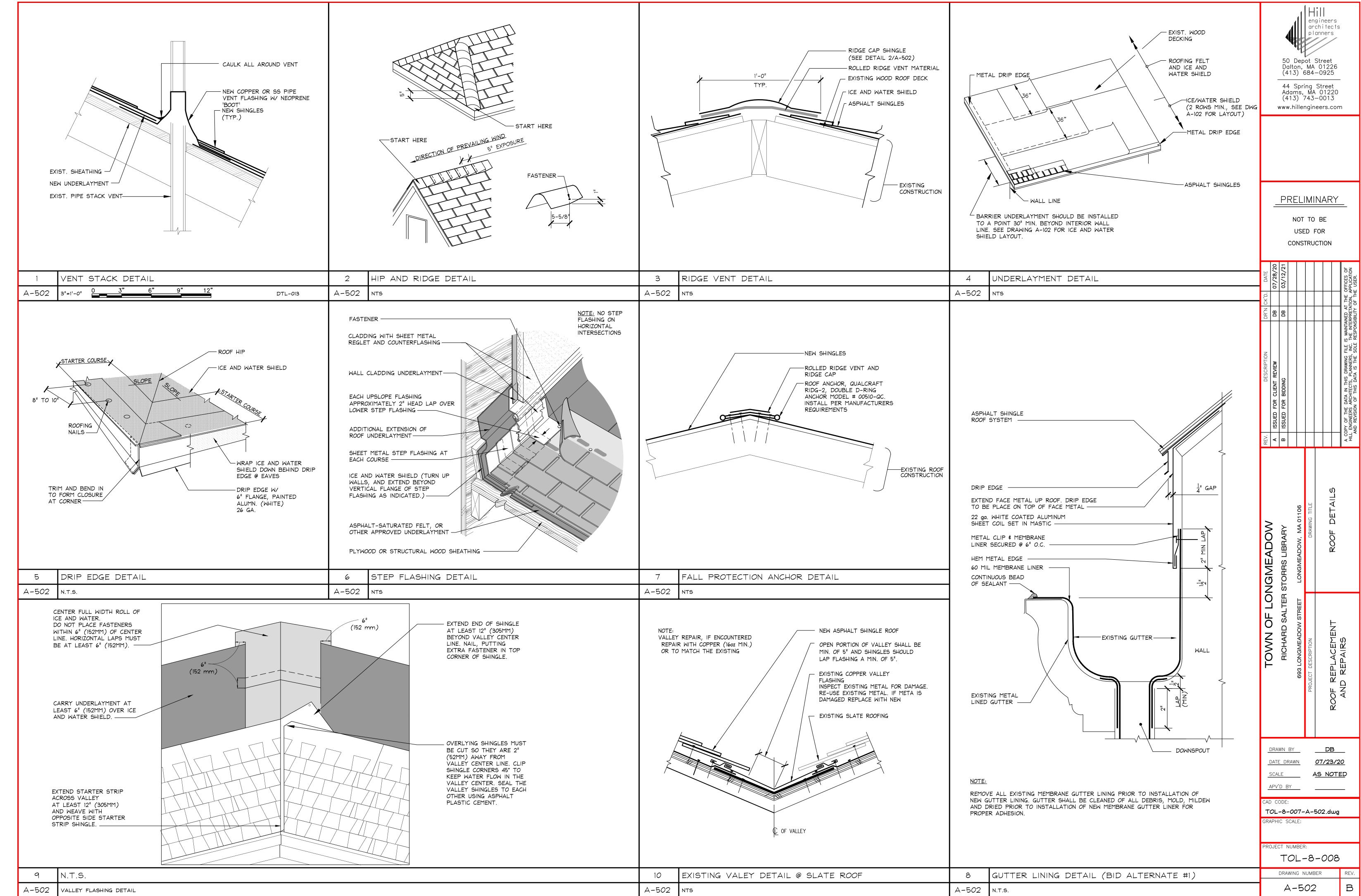
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