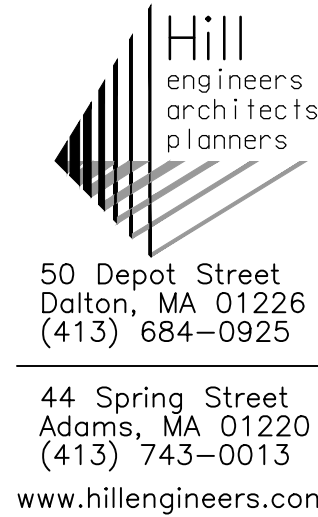


TOWN OF LONGMEADOW

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ROOF REPLACEMENT AND REPAIRS



<u>DRAWING LIST</u>	<u>DRAWING TITLE</u>	<u>REVISION</u>	<u>ISSUE DATE</u>
G-001	TITLE SHEET	B	03/12/21
G-002	CHAPTER 34 REPORT	B	03/12/21
A-101	ROOF PLANS	B	03/12/21
A-102	ROOF PLAN	B	03/12/21
A-301	ROOF SECTION DETAILS	B	03/12/21
A-501	ROOF DETAILS	B	03/12/21
A-502	ROOF DETAILS	B	03/12/21

LIST OF PROJECT ALTERNATES:

ALTERNATE NO. 1
GUTTER RE-LINING

ALTERNATE NO. 2
SLATE ROOF REPAIRS

GENERAL NOTES (ALL TRADES)

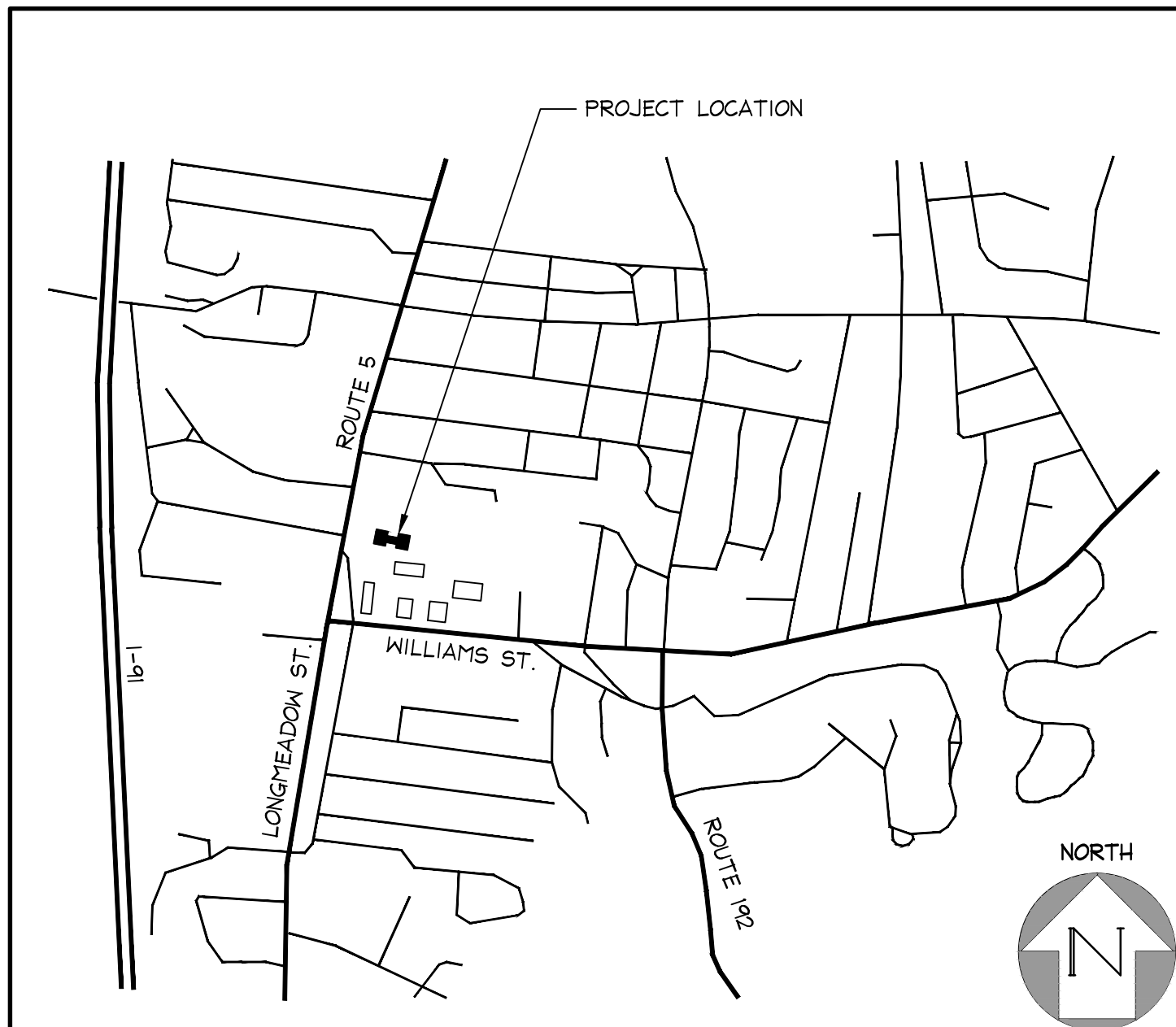
THE CONTRACTOR SHALL INCLUDE ALL TAXES (STATE AND FEDERAL)

1. ALL WORK SHALL COMPLY WITH STATE AND LOCAL CODES AND ORDINANCES. THE CONTRACTOR(S) SHALL APPLY FOR ALL PERMITS, AND SHALL PAY ALL PERMIT RELATED FEES. ALL NECESSARY PERMITS SHALL BE OBTAINED PRIOR TO THE START OF WORK, AND THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR OBTAINING THE 'OCCUPANCY CERTIFICATE' PRIOR TO OCCUPANCY.
2. CONTRACTOR(S) SHALL PROVIDE ALL NECESSARY SERVICE ON ALL MATERIALS AND WORKMANSHIP PROVIDED UNDER THIS CONTRACT FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE OF FINISHED INSTALLATION AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR(S) SHALL EXTEND ALL AVAILABLE WARRANTIES ON THE EQUIPMENT IN WRITING TO THE OWNER.
3. THE CONTRACTOR(S) SHALL MAINTAIN THE JOB CLEAR OF TRASH AND DEBRIS, AND SHALL PRESENT THE PROJECT TO THE OWNER FOR FINAL ACCEPTANCE CLEAN AND READY FOR OCCUPANCY. ALL GLASS AND METAL FRAMES SHALL BE CLEANED, ALL LABELS REMOVED, FLOORS SWEEP BROOM CLEAN, CARPET VACUUMED AND THE PROJECT AREA LEFT FREE OF TRASH AND DEBRIS.
4. TEMPORARY FACILITIES FOR PROTECTION OF TOOLS AND EQUIPMENT SHALL CONFORM TO LOCAL REGULATIONS AND SHALL BE THE CONTRACTOR(S) RESPONSIBILITY.
5. THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. SAFETY, CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION, AND COMPLIANCE WITH STATE AND FEDERAL REGULATIONS REGARDING SAFETY SHALL BE THE CONTRACTOR(S) RESPONSIBILITY.
6. THE CONTRACTOR AND HIS SUB-CONTRACTORS SHALL VISIT THE SITE AND BECOME FAMILIAR WITH ALL CONDITIONS PRIOR TO SUBMITTING HIS PROPOSAL. CLAIMS FOR EXTRA PAYMENT WILL NOT BE ALLOWED BECAUSE OF UNFAMILIARITY WITH THE WORK TO BE PERFORMED BY OTHER TRADES, EXISTING CONDITIONS AT THE JOB SITE, LOCAL, STATE OR FEDERAL LAWS, OR ALTERATIONS DUE TO FIELD CONDITIONS.
7. CONTRACTOR(S) SHALL VERIFY ALL DIMENSIONS IN BOTH HORIZONTAL AND VERTICAL PLANES AND CONDITIONS SHOWN ON THE CONTRACT DOCUMENTS WITH THOSE ON THE JOB PRIOR TO COMMENCEMENT OF ANY WORK. ANY VARIATION WHICH REQUIRES PHYSICAL CHANGE SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER.
8. THE CONTRACTOR AND HIS SUB-CONTRACTORS SHALL IMMEDIATELY CONTACT THE ARCHITECT/ENGINEER AND PROVIDE A SHOP DRAWING/SKETCH FOR DETERMINATION, SHOULD HE FIND ANY CONFLICT OR INCONSISTENCY BETWEEN THE WORK SHOWN ON THE CONTRACT DOCUMENTS AND NORMAL ACCEPTED CONSTRUCTION PRACTICES, OR ASSUME RESPONSIBILITY FOR ALL CORRECTIONS.
9. MODIFICATIONS REQUIRED FOR ANY REVISIONS TO THE CONTRACT DOCUMENTS INITIATED BY THE CONTRACTOR OR SUB-CONTRACTOR WITHOUT PRIOR WRITTEN APPROVAL BY THE ARCHITECT/ENGINEER SHALL BE ACCOMPLISHED AT THE CONTRACTOR(S) RISK.

- DO NOT SCALE OFF DRAWINGS FOR ANY PURPOSE.
11. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO OWNER/PLANT STANDARDS, AS A MINIMUM, OR THESE DRAWINGS, WHICHEVER IS MORE STRINGENT.
12. ALL STAIRS AND CORRIDORS AND MEANS OF EGRESS ROUTES SHALL REMAIN ACCESSIBLE AT ALL TIMES.
13. PROVIDE SELF ADHERING WALK-OFF MATS AT ALL ENTRY/EXIT LOCATIONS. MAINTAIN AND REPLACE AS REQUIRED THROUGHOUT CONSTRUCTION.
14. EXISTING CONSTRUCTION NOT SCHEDULED FOR WORK SHALL BE PROTECTED THROUGHOUT CONSTRUCTION INCLUDING BUT NOT LIMITED TO FIRE ALARM PULL STATIONS, HORNS, STROBES, THERMOSTATS, PARTITIONS, CEILING, FLOOR FINISHES, AND FURNISHINGS.
15. CONTRACTOR(S) SHALL SUBMIT FOUR (4) COPIES OF CATALOG CUT SHEETS FOR ALL MATERIALS TO THE ARCHITECT/ENGINEER FOR APPROVAL BEFORE ANY WORK IS TO BEGIN. NO CHANGES OR SUBSTITUTIONS ALLOWED WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT/ENGINEER OR OWNER.
16. CONTRACTOR(S) SHALL COORDINATE WITH OTHER TRADES TO ELIMINATE ANY INTERFERENCES WITH PIPES, DUCTS, ETC.
17. ALL CONSTRUCTION COMPONENT, EQUIPMENT/SYSTEMS AND SUBMITTALS SHALL COMPLY WITH THE ENERGY CODE OF THE STATE IN WHICH THE BUILDING IS LOCATED.
18. IT IS THE INTENTION OF THE DRAWINGS TO CALL FOR FINISHED WORK, TESTED, AND READY FOR OPERATION.
19. ACCESSIBLE ACCESSORIES/DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE STATE CODE IN WHICH THE BUILDING IS LOCATED.
20. MISCELLANEOUS DEFINITIONS:
 - *FURNISH* MEANS SUPPLY AND DELIVER TO THE PROJECT SITE OR OTHER DESIGNATED LOCATION, READY FOR UNLOADING, UNPACKING, STORING, ASSEMBLY, INSTALLATION, APPLICATION, ERECTION, OR OTHER FORM OF INCORPORATION INTO THE PROJECT, AND MAINTAINED READY FOR USE. SUPPLY AND DELIVER PRODUCTS REQUIRING ADDITIONAL OR SUPPLEMENTAL FITTING, ASSEMBLY, FABRICATION, OR INCORPORATION INTO OTHER ELEMENTS OF THE PROJECT DIRECTLY TO THE FABRICATOR, INSTALLER OR MANUFACTURER AS REQUIRED.
 - *INSTALL* MEANS UNLOAD, UNPACK, USE, FIT, ATTACH, ASSEMBLE, APPLY, PLACE, ANCHOR, ERECT, FINISH, CURE, PROTECT, CLEAN, AND SIMILAR OPERATIONS REQUIRED TO PROPERLY INCORPORATE WORK INTO THE PROJECT.
 - *PROVIDE* MEANS FURNISH AND INSTALL COMPLETE, AND READY FOR USE. PROVIDE ANY AND ALL ITEMS NECESSARY TO COMPLETE THE SYSTEMS.
21. WHERE PRE-MANUFACTURED COMPONENTS/DEVICES/EQUIPMENT (ETC.) ARE IDENTIFIED, THE CONTRACTOR SHALL STRICTLY FOLLOW ALL MANUFACTURER INSTRUCTIONS AND RECOMMENDATIONS FOR INSTALLATION.
22. ANY DAMAGE TO EXISTING UTILITIES, STRUCTURES, FINISHES OR PROPERTY MUST BE REPORTED TO THE OWNER FOR REVIEW AND DIRECTION AS TO THE REPAIR, REPLACEMENT OR ABANDONMENT AT THE CONTRACTOR'S EXPENSE.

DEMOLITION NOTES (ALL TRADES)

1. CONTRACTOR SHALL ERECT ALL SAFETY BARRICADES AND POST PROPER NOTICES PRIOR TO COMMENCING WORK.
2. GC SHALL COORDINATE ALL SUBCONTRACTOR DEMOLITION, CUTTING, PATCHING, ETC.
3. ITEMS TO BE REMOVED SHALL BE CLEANLY CUT BACK TO THE LIMITS SHOWN ON THE DRAWINGS, OR AS DIRECTED BY THE OWNER REPRESENTATIVE OR ARCHITECT.
4. DEMOLISH ALL WORK IN A SAFE MANNER AND PROTECT ALL WORK WHICH IS TO REMAIN. RESTORE ALL CONDITIONS WHICH BECOME DAMAGED, THAT ARE NOT SCHEDULED TO BE DEMOLISHED, TO THEIR ORIGINAL STATE.
5. CONTRACTOR SHALL ERECT DUST PARTITION/PROTECTION BARRIERS TO PROTECT ADJACENT AREAS TO REMAIN, AND CONTRACTOR SHALL CLEAN THOSE AREAS WHICH HAVE BECOME AFFECTED.
6. CONTRACTOR SHALL COMPLY WITH RULES AND REGULATIONS ESTABLISHED BY GOVERNMENTAL AGENCIES TO PROPERLY TRANSPORT DEMOLITION MATERIALS USING CONTAINERS DESIGNED FOR PARTICULAR WASTE TO APPROVED DISPOSAL SITES. CONTRACTOR SHALL OBTAIN ALL PERMITS AND PAY ALL FEES. DEBRIS SHALL BE REMOVED ON A DAILY BASIS.
7. CONTRACTOR SHALL IMMEDIATELY HALT WORK AND NOTIFY ARCHITECT/ENGINEER IF HAZARDOUS MATERIAL IS FOUND DURING DEMOLITION.
8. COORDINATE WITH OWNER FOR THOSE ITEMS WHICH ARE TO BE TURNED OVER TO OWNER, OR THOSE ITEMS WHICH ARE TO BE REMOVED BY OWNER.
9. COORDINATE WITH OWNER FOR WORK NEAR MACHINERY/EQUIPMENT AND BUILDING SYSTEMS AND FOR HVAC, PLUMBING OR ELECTRICAL SHUT DOWNS PRIOR TO DEMOLITION.
10. ALL ELECTRICAL POWER SHALL BE DISCONNECTED AND TEMPORARY LIGHTING PROVIDED PRIOR TO DEMOLITION.
11. PRIOR TO CORE DRILLING CONCRETE FLOOR SLABS, CONTRACTOR SHALL PERFORM X-RAY OR RADAR CHECKING FOR EXISTING OBSTRUCTIONS. PROCEEDING WITH WORK WITHOUT VERIFICATION WILL BE AT THE CONTRACTOR'S RISK AND EXPENSE.



1	LOCUS PLAN
G-001	N.T.S.

PRELIMINARY

NOT TO BE
USED FOR
CONSTRUCTION

[illegible]

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TOWN OF LONGMEADOW
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693 LONGMEADOW STREET LONGMEADOW, MA 01106

DRAWING TITLE

TITLE SHEET

ROOF REPLACEMENT AND REPAIRS

DRAWN BY DB

DATE DRAWN 07/22/20

SCALE AS NOTED

APV'D BY _____

CAD CODE:
TOL-8-008-G-001.dwg

GRAPHIC SCALE:

PROJECT NUMBER:
TOL-8-008

DRAWING NUMBER	REV.
G-001	B



**Town of Longmeadow
Richard Salter Storrs Library
Roof Revover**

693 Longmeadow Street
Longmeadow, MA 01106
TOL-8-007
June 2019

**780 CMR 9th Edition Chapter 34.00 Analysis and Report
Prescriptive Compliance Method**

- As per the 9th Edition of 780 CMR 34.00, effective 1/01/18, the Existing Building Code in Massachusetts is, by adoption, the International Existing Building Code 2015 (IEBC-2015) with Massachusetts amendments.
- As per 780 CMR Chapter 34.00 Section 101.1, these regulations shall be known as the Existing Building Code of Massachusetts, hereinafter referred to as 780 CMR 34.00.
- The proposed work is controlled construction as per 780 CMR Section 107. This written report details the results of an investigation and evaluation of the existing building in accordance with the stipulations of 780 CMR 34.00 Section 101.4.2.1.
- This report assumes that there are no outstanding notices of violations or other orders from the building official concerning the condition or use of the subject building. (780 CMR Section 102.6.4 Existing Means of Egress, Lighting and Ventilation).
- This report is intended to be submitted to the building official as a necessary precondition of the issuance of a building permit.

Reference Data

The building is a Library – Assembly A-3 Use and Occupancy
It has two stories with a partial basement.

- Original Building Constructed circa 1933 / Type IIB-R Construction
- Added Constructed circa 1993 / Type V-B Construction

Non-separated and non-sprinklered.

Basement Area: 3,885 SF First Floor Area: 9,290 sf Second Floor Area: 8,600 of

Project Description

The project scope includes the following Work:

*Roof Revover: Installing an additional roof covering over a prepared existing roof covering without removing the existing roof covering. (Refer to definitions in 780 CMR Section 202.)
The locations are:

- 1993 Original Building North 500 sf (approx.)
- 1993 Original Building South 500 sf (approx.)
- 1993 Building Addition Entrance 200 sf (approx.)
- 1993 Building Addition Eastern Stair 125 sf (approx.)

Occupancy Category of Building or Structure (from 780 CMR, Table 1604.5)

- Occupancy Category II:

Seismic Design Category (from 780 CMR Section 1613.5.5)

- Table 1613.3.5 (1): **B**
- Table 1613.3.5 (2): **B**

Minimum Roof Covering Fire Classification (Table 1505.1)

- Class B

Basic Wind Speed and Ultimate Design Wind Speed (Table 1604.11 and Figure 1609.3)

- 120 mph

Ground Snow Load (Table 1604.11)

- 35 psf

Minimum Flat Roof Snow Load (Table 1604.11)

- 35 psf

100-Year Hourly Rainfall Rate (Figure 1611.1)

- 2.5 inches per hour

Chapter 1 – Scope and Administration

Applicable

Part 1 Scope and Application

Section 101 General

Applicable

101.1 Title
These regulations shall be known as the *Existing Building Code of Massachusetts*, hereinafter referred to as 780 CMR 34.00.

- 101.2 Scope
- The provisions of the *International Existing Building Code of Massachusetts* 2015 shall apply to the repair, alteration, change of occupancy, addition to and relocation of existing buildings.
- Notes:
- If requirements in 780 CMR 34.00 conflict with similar requirements in 780 CMR 1.00 *Scope and Administration*, then 780 CMR 34.00 controls.
 - When 780 CMR 34.00 references requirements in other I-Codes, see 780 CMR 1.00 *Scope and Administration* for guidance on how to use those I-Codes.
 - Requirements in 780 CMR 34.00 for plumbing, fuel gas, electrical, elevators, fire, or accessibility shall be replaced by the requirements of the Massachusetts specialty codes, as indicated in 780 CMR 1.00 *Scope and Administration*.

101.3 Intent

Applicable

The intent of this code is to provide flexibility to permit the use of alternative approaches to achieve compliance with minimum requirements to safeguard the public health, safety and welfare insofar as they are affected by the repair, alteration, change of occupancy, addition and relocation of existing buildings.

101.4 Applicability

Applicable

This code shall apply to the repair, alteration, change of occupancy, addition and relocation of existing buildings, regardless of occupancy, subject to the criteria of Sections 101.4.1 and 101.4.2.

101.4.1 Buildings Not Previously Occupied.

Not Applicable

A building or portion of a building that has not been previously occupied or used for its intended purpose in accordance with the laws in existence at the time of its completion shall be permitted to comply with the provisions of the laws in existence at the time of its original permit unless such permit has expired. Subsequent permits shall comply with the 780 CMR 1.00 through 35.00 or 780 CMR 51.00, as applicable, for new construction.

Not Applicable

The legal occupancy of any building existing on the date of adoption of this code (10/20/17) shall be permitted to continue without change, except as is specifically covered in this code. 527 CMR or 780 CMR, or as is deemed necessary by the code official for the general safety and welfare of the occupants and the public.

101.5 Safeguards During Construction.

Applicable

Construction work covered in this code, including any related demolition, shall comply with the requirements of Chapter 15.

101.6 Appendices.

Applicable

The code official is authorized to require rehabilitation and retrofit of buildings, structures or individual structural members in accordance with the appendices of this code if such appendices have been individually adopted.

101.7 Correction of Violations of Other Codes.

Applicable

Repairs or alterations mandated by any property, housing, or fire safety maintenance code or mandated by any licensing rule or ordinance adopted pursuant to law shall conform only to the requirements of that code, rule, or ordinance and shall not be required to conform to this code unless the code requiring such repair or alteration so provides.

Part 2 Administration and Enforcement

Section 104 Duties and Powers of Code Official

Applicable

104.2.2.1 Building Investigation and Evaluation.
For any proposed work regulated by 780 CMR 34.00 and subject to section 107.2 of 780 CMR, as a condition of the issuance of a permit, the building owner shall cause the existing building (or portion thereof) to be investigated and evaluated in accordance with the provisions of 780 CMR 34.00. The investigation and evaluation shall be in sufficient detail to ascertain the effect of the proposed work on at least these systems: structural, means of egress, fire protection, energy conservation, lighting, hazardous materials, accessibility, and ventilation for the space under consideration and, where necessary, the entire building or structure and its foundation if imposed by the proposed work. The results of the investigation and evaluation, along with any proposed compliance alternatives, shall be submitted to the building official in a written report system.

In brief, the following table indicates the effects of the proposed work on the above listed systems:

Structural Design Gravity Load	None
Structural Lateral Load Capacity	None
Means of Egress	None
Fire Protection	None
Fire Resistive Construction	None
Energy Conservation	None
Lighting	None
Hazardous Materials	None
Accessibility	None
Ventilation	None

The following report responds on the above list and documents the results of the investigation and evaluation of the subject building or structure, along with any proposed compliance alternatives.

104.10.1 Flood Hazard Areas.

Not Applicable

For existing buildings located in flood hazard areas...

Refer to Section 403.2.

104.11 Compliance Alternative.

Not Applicable

Where compliance with the provisions of the code for new construction, required by 780 CMR 34.00, is impractical because of construction difficulties or regulatory conflicts, compliance alternatives may be accepted by the building official. The building official may accept these compliance alternatives, archaic materials and assemblies in Resource A of 780 CMR 34.00, or others alternatives proposed. If the compliance alternative involves fire protection systems, the building official shall consult with the fire official.

Chapter 2 – Definitions

Applicable

Chapter 3 – Provisions for All Compliance Methods

Applicable

Section 301 Administration

Applicable

301.1 General.
The repair, alteration, change of occupancy, addition or relocation of all existing buildings shall comply with one of the methods listed in Sections 301.1.1 through 301.1.3 as selected by the applicant.

- The work of this project shall comply with Section 301.1.1 Prescriptive compliance method, thus complying with Chapter 4 of this code.

Sections 301.1.1 through 301.1.3 shall not be applied in combination with each other

Where this code requires consideration of the seismic-force-resisting system of an existing building subject to repair, alteration, change of occupancy, addition or relocation of existing buildings, the seismic evaluation and design shall be based on Section 301.1.4 regardless of which compliance method is used.

Exception: Subject to the approval of the code official, alterations complying with the laws in existence at the time the building or the affected portion of the building was built shall be considered in compliance with the provisions of this code unless the building is undergoing more than a limited structural alteration as defined in Section 907.4.4. New structural members added as part of the alteration shall comply with 780 CMR.

Alteration of existing buildings in flood hazard areas shall comply with

Not Applicable

Automatic sprinkler systems may be required by M.G.L. c. 148, Sections 26A, 26A ½, 26C, 26C ½, 26H, or 26I, or by M.G.L. c. 272 Sections 86 through 86D. See sections 101.4.5 and 903.2 of 780 CMR for additional guidance.
See “Other Pertinent Regulations” below

301.1.1 Prescriptive Compliance Method.

Applicable

Repairs, alterations, additions and changes of occupancy complying with Chapter 4 of this code in buildings complying with the 527 CMR shall be considered in compliance with the provisions of this code.

301.1.2 Work Area Compliance Method.

Not Applicable for Prescriptive Compliance Method

301.1.3 Performance Compliance Method.

Not Applicable for Prescriptive Compliance Method

301.1.4 Seismic Evaluation and Design Procedures.

Applicable

The seismic evaluation and design shall be based on the procedures specified in 780 CMR, ASCE 41. The procedures contained in Appendix A of this code shall be permitted to be used as specified in Section 301.1.4.2.

301.1.4.1 Compliance with IBC-Level Seismic Forces.

Not Applicable

Where compliance with the seismic design provisions of 780 CMR is required, the criteria shall be in accordance with one of the following:

1. 780 CMR using 100% of the prescribed forces.

Not Applicable

104.11 Compliance Alternative

Not Applicable

Where compliance with the provisions of the code for new construction, required by 780 CMR 34.00, is impractical because of construction difficulties or regulatory conflicts, compliance alternatives may be accepted by the building official. The building official may accept these compliance alternatives, archaic materials and assemblies in Resource A of 780 CMR 34.00, or others alternatives proposed. If the compliance alternative involves fire protection systems, the building official shall consult with the fire official.

Chapter 3 – Definitions

Applicable

Chapter 3 – Provisions for All Compliance Methods

Applicable

Section 301 Administration

Applicable

301.1 General.
The repair, alteration, change of occupancy, addition or relocation of all existing buildings shall comply with one of the methods listed in Sections 301.1.1 through 301.1.3 as selected by the applicant.

- The work of this project shall comply with Section 301.1.1 Prescriptive compliance method, thus complying with Chapter 4 of this code.

Sections 301.1.1 through 301.1.3 shall not be applied in combination with each other

Where this code requires consideration of the seismic-force-resisting system of an existing building subject to repair, alteration, change of occupancy, addition or relocation of existing buildings, the seismic evaluation and design shall be based on Section 301.1.4 regardless of which compliance method is used.

Exception: Subject to the approval of the code official, alterations complying with the laws in existence at the time the building or the affected portion of the building was built shall be considered in compliance with the provisions of this code unless the building is undergoing more than a limited structural alteration as defined in Section 907.4.4. New structural members added as part of the alteration shall comply with 780 CMR.

Alterations of existing buildings in flood hazard areas shall comply with

Not Applicable

Automatic sprinkler systems may be required by M.G.L. c. 148, Sections 26A, 26A ½, 26C, 26C ½, 26H, or 26I, or by M.G.L. c. 272 Sections 86 through 86D. See sections 101.4.5 and 903.2 of 780 CMR for additional guidance.
See “Other Pertinent Regulations” below

301.1.1 Prescriptive Compliance Method.

Applicable

Repairs, alterations, additions and changes of occupancy complying with Chapter 4 of this code in buildings complying with the 527 CMR shall be considered in compliance with the provisions of this code.

301.1.2 Work Area Compliance Method.

Not Applicable for Prescriptive Compliance Method

301.1.3 Performance Compliance Method.

Not Applicable for Prescriptive Compliance Method

301.1.4 Seismic Evaluation and Design Procedures.

Applicable

The seismic evaluation and design shall be based on the procedures specified in 780 CMR, ASCE 41. The procedures contained in Appendix A of this code shall be permitted to be used as specified in Section 301.1.4.2.

301.1.4.1 Compliance with IBC-Level Seismic Forces.

Not Applicable

Where compliance with the seismic design provisions of 780 CMR is required, the criteria shall be in accordance with one of the following:

1. 780 CMR using 100% of the prescribed forces.

Not Applicable

302.4 New and Replacement Materials.

Applicable

Except as otherwise required or permitted by this code, materials permitted by the applicable code for new construction shall be used. L&L materials shall be permitted for repair and alteration, provided no unsafe condition is created. Hazardous materials shall not be used where the code for new construction would not permit their use in buildings of similar occupancy, purpose and location.

302.5 Occupancy and Use.

Applicable

When determining the appropriate application of the referenced sections of this code, the occupancy and use of a building shall be determined in accordance with Chapter 3 of 780 CMR.

302.6 Masonry Parapet.

Not Applicable – Parapets do not exceed 2.5:1 ratio

The following exception applies to requirements in 780 CMR 34.00 for masonry parapets:

Exception: If the height-to-thickness ratio of an unreinforced masonry parapet does not exceed 2.5, then bracing is not required. For the purpose of this exception, the height shall be measured from either the level of session anchors or the roof sheathing, whichever is lower.

302.7 Structural Requirements Pertaining to Roof Work.

Not Applicable

1. Structural requirements of parapets of unreinforced masonry required by section 403.5 and 707.3.1 of 780 CMR 34.00 shall only apply when the intended alteration requires a permit for reroofing and when roof covering is removed from the entire roof diaphragm and not by the 25% roof area trigger found in sections 403.5 and 707.3.1 of 780 CMR 34.00.

Not Applicable

2. Structural requirements of roof diaphragms resisting wind loads in high-wind regions required by sections 403.8 and 707.3.2 of 780 CMR 34.00, when the intended alteration requires a permit for reroofing, shall only apply when roof covering is removed from the entire roof diaphragm and the building is located where the ultimate design wind speed is greater than 150 mph and the building is Risk Category IV in accordance with Table 1604.5 of 780 CMR.

Not Applicable

302.8 Structural Requirements Pertaining to Major Alterations.

Not Applicable

1. Structural requirements required by section 403.6 and 907.4.5 of 780 CMR 34.00 for unreinforced masonry walls shall apply to buildings in seismic design category II in addition to categories C, D, E and F found in these sections and shall require roof and floor levels to be anchored to the walls.

2. Structural requirements required by section 403.7 and 907.4.6 of 780 CMR 34.00 for unreinforced masonry parapets shall apply to buildings in seismic design category B in addition to categories C, D, E and F in these sections.

302.9 Provisions for Change in Occupancy Classification to R, I or E Use.

Not Applicable

302.10 Fire Detection Systems in R-2 Use Which Are Not Currently Equipped with Sprinklers.
When 780 CMR 34.00 requires a smoke detector system in an R-2 Use and does not additionally require an NFPA 13, 13R or 13D system installed throughout the building, then subsections 302.10.1 through 302.10.3 shall apply.

Not Applicable

Chapter 4 – Prescriptive Compliance Method

Applicable

Section 401 General

Applicable

401.1 Scope.

Applicable

The provisions of this chapter shall control the alteration, repair, addition and change of occupancy or relocation of existing buildings and structures, including historic buildings and structures as referenced in Section 301.1.1.

Exception: Existing bleachers, grandstands and folding and telescope seating shall comply

with ICC 300.

Not Applicable

401.1.1 Compliance with Other Methods.

Applicable

Alterations, repairs, additions and changes of occupancy to or relocation of existing buildings shall comply with the provisions of this chapter or with one of the methods provided in Section 301.1.

401.2 Building Materials and Systems.

Applicable

Building Materials and systems shall comply with the requirements of this section.

401.2.1 Existing Materials.

Applicable

Materials already in use in a building in compliance with requirements or approvals in effect at the time of their erection or installation shall be permitted to remain in use unless determined by the building official to be unsafe per Section 1.15.

401.2.2 New and Replacement Materials.

Applicable

Except as otherwise required or permitted by this code, materials permitted by the applicable code for new construction shall be used. Like materials shall be permitted for repairs and alterations, provided no hazard to life, health or property is created. Hazardous materials shall not be used where the code for new construction would not permit their use in buildings of similar occupancy, purpose and location.

401.2.3 Existing Seismic Force-Resisting Systems.

Applicable

Where the existing seismic force-resisting system is a type that can be designed ordinary, values of R, Omega, and C_e for the existing seismic force-resisting system shall be those specified by 780 CMR for an ordinary system unless it is demonstrated that the existing system will provide performance equivalent to that of a detailed, intermediate or special system.

401.3 Dangerous Conditions.

Not Applicable

The building official shall have authority to require the elimination of conditions deemed dangerous

Section 402 Additions

Not Applicable

Section 403 Alterations

Applicable

403.1 General.

Applicable

Except as provided by Section 401.2 or this section, alterations to any building or structure shall comply with the requirements of 780 CMR for new construction. Alterations shall be such that the existing building or structure is not in less conforming to the provisions of 780 CMR than the existing building or structure was prior to the alteration.

Exception 1:

Not Applicable

An existing stairway shall not be required to comply with the requirements of 780 CMR Section 1011 where the existing space and construction does not allow a reduction in pitch or slope.

Exception 2:

Not Applicable

Handrails otherwise required to comply with 780 CMR Section 1011.1 shall not be required to comply with the requirements of 780 CMR 1014.6 regarding full extension of the handrails where such extensions would be hazardous due to pin configuration.

403.2 Flood Hazard Areas.

Not Applicable

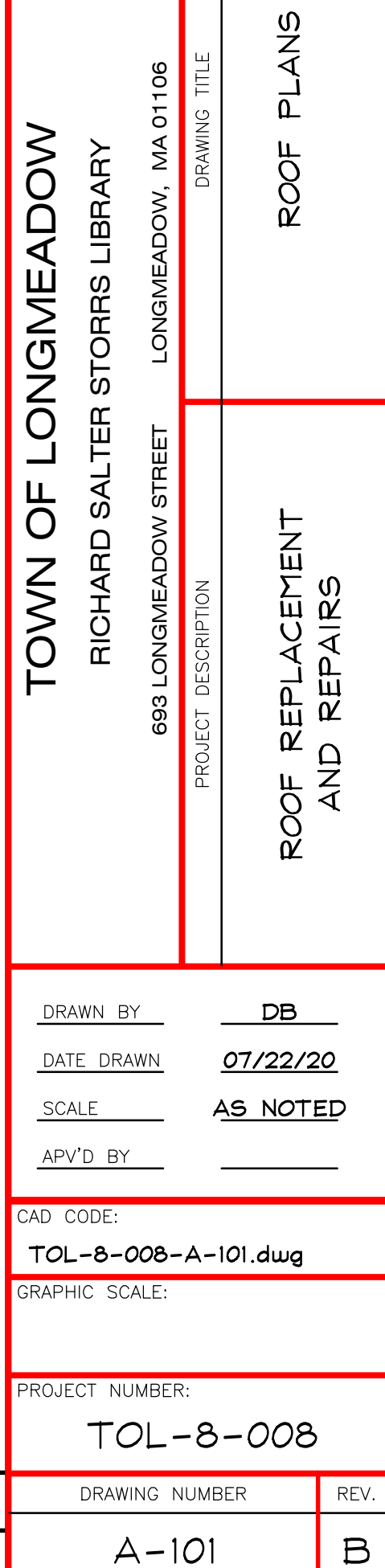
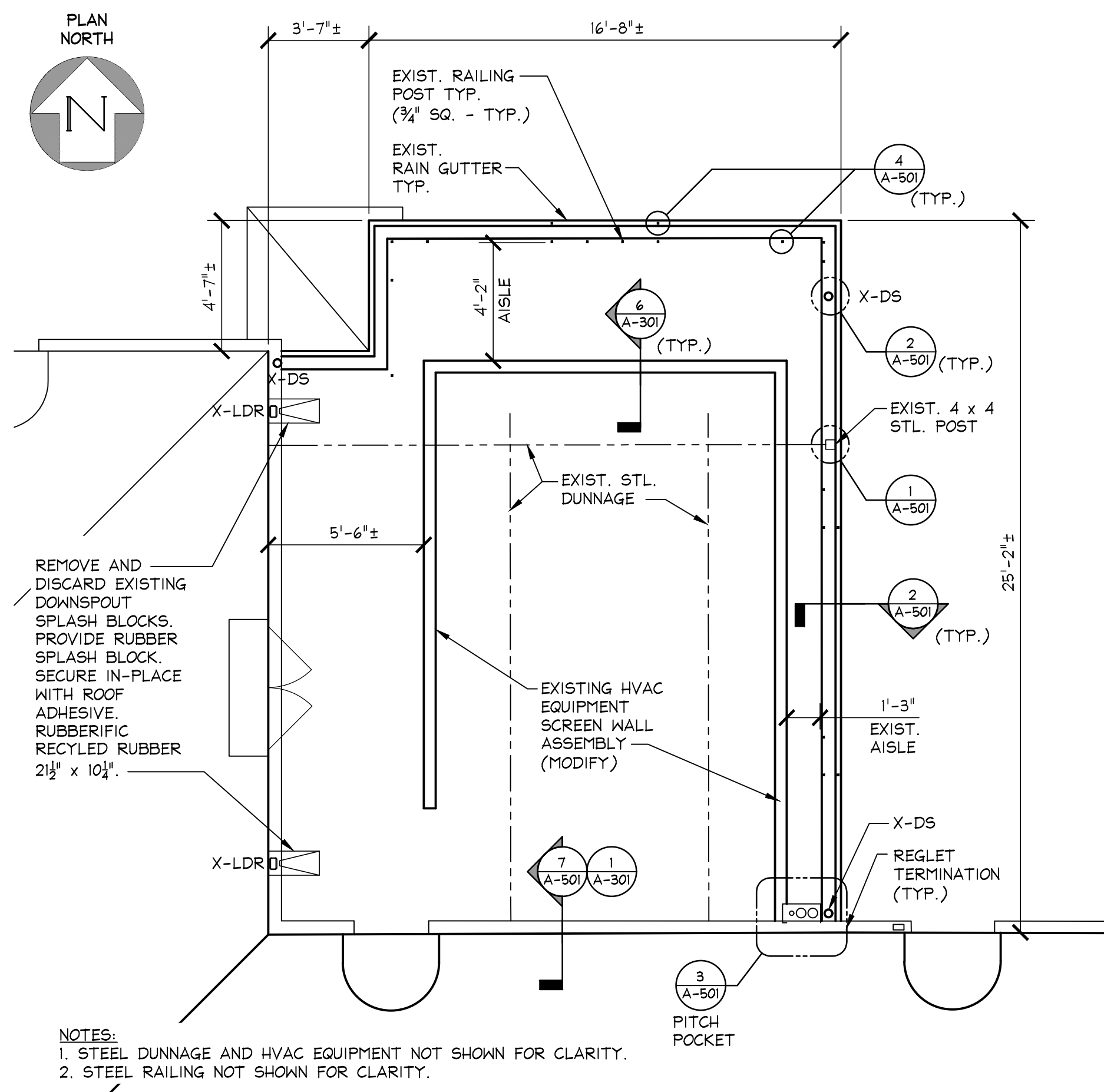
For buildings and structures in flood hazard areas established by 780 CMR Section 1612.3, or Section R322 of 780 CMR 51, as applicable, any alteration that constitutes substantial improvement of the existing structure shall comply with the flood design requirements for new construction, and all aspects of the existing structure shall be brought into conformance with the requirements for new construction for flood design. Any alterations that do not constitute substantial improvement of the existing structure are not required to comply with the flood design requirements for new construction.

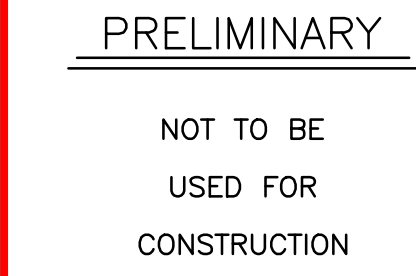
- Roof Re-cover is not a substantial improvement.

403.3 Existing Structural Elements Carrying Gravity Load.

Not Applicable – Structural elements shall not increase in design gravity load in excess 5% shall comply.

Any existing gravity load-carrying structural element for which an alteration causes an increase in design gravity load of more than 5 percent shall be strengthened, supplemented, replaced or otherwise altered as needed to carry the increased gravity load





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ROOF REPLACEMENT AND REPAIRS	ROOF PLAN	

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DATE DRAWN _____	<u>07/22/20</u>
SCALE _____	<u>AS NOTED</u>
APV'D BY _____	_____

CAD CODE: _____

TOL-8-008-A-102.dwg

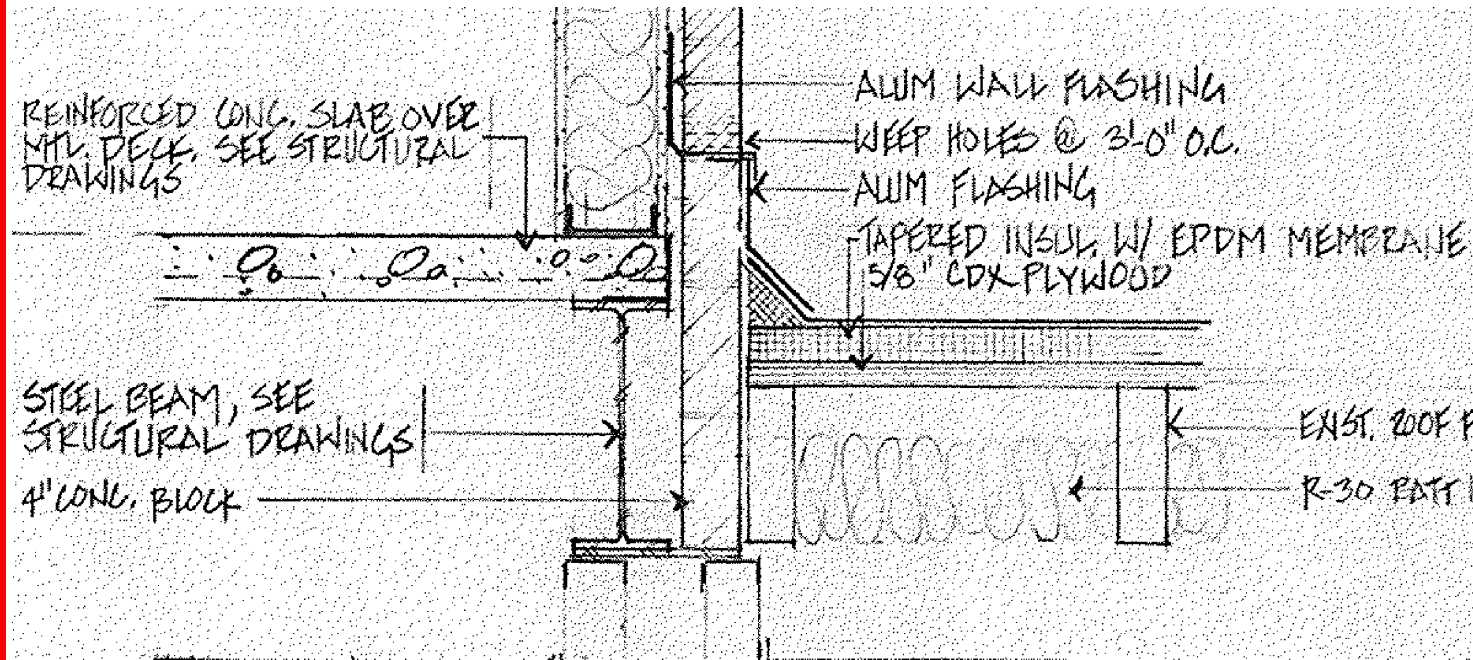
GRAPHIC SCALE: _____

PROJECT NUMBER: _____

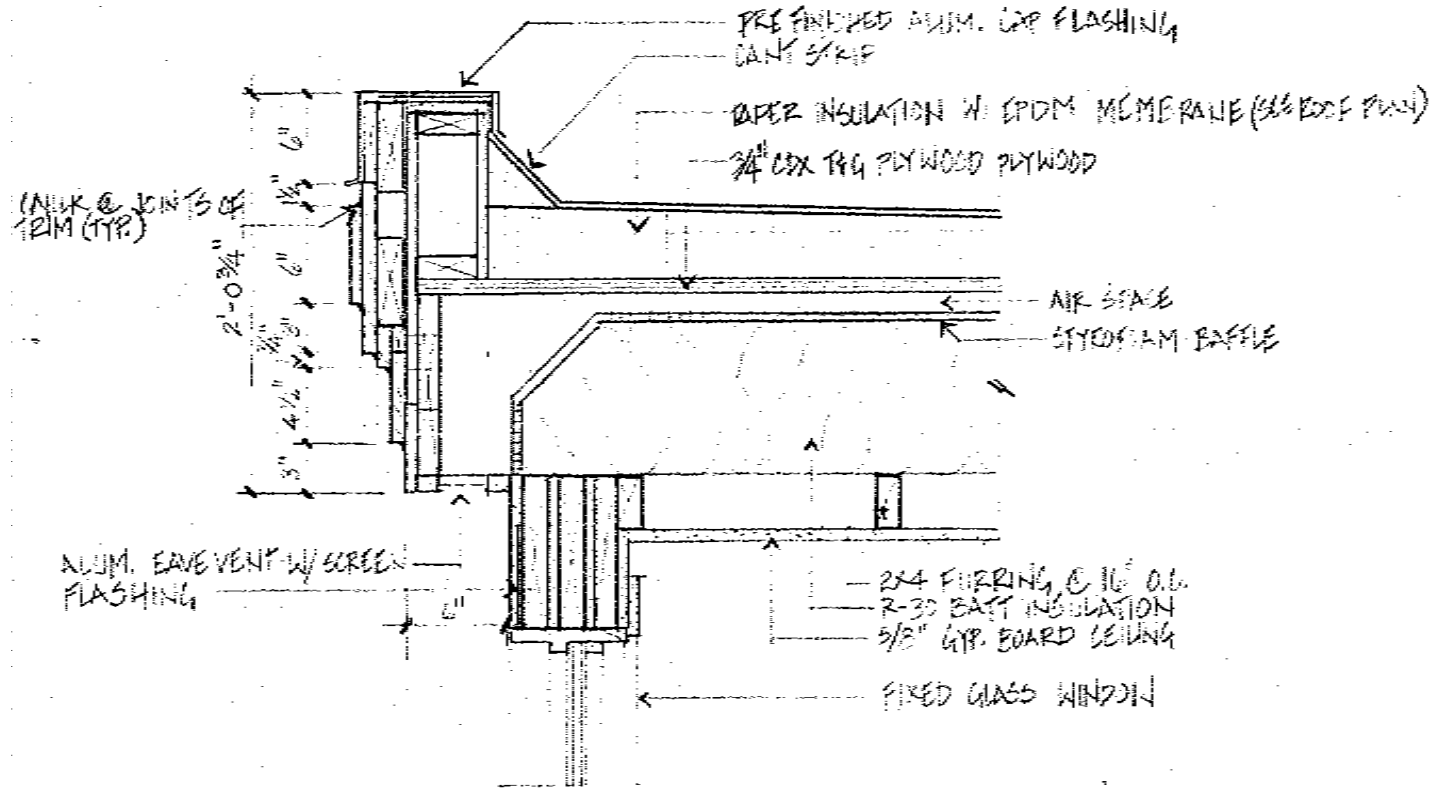
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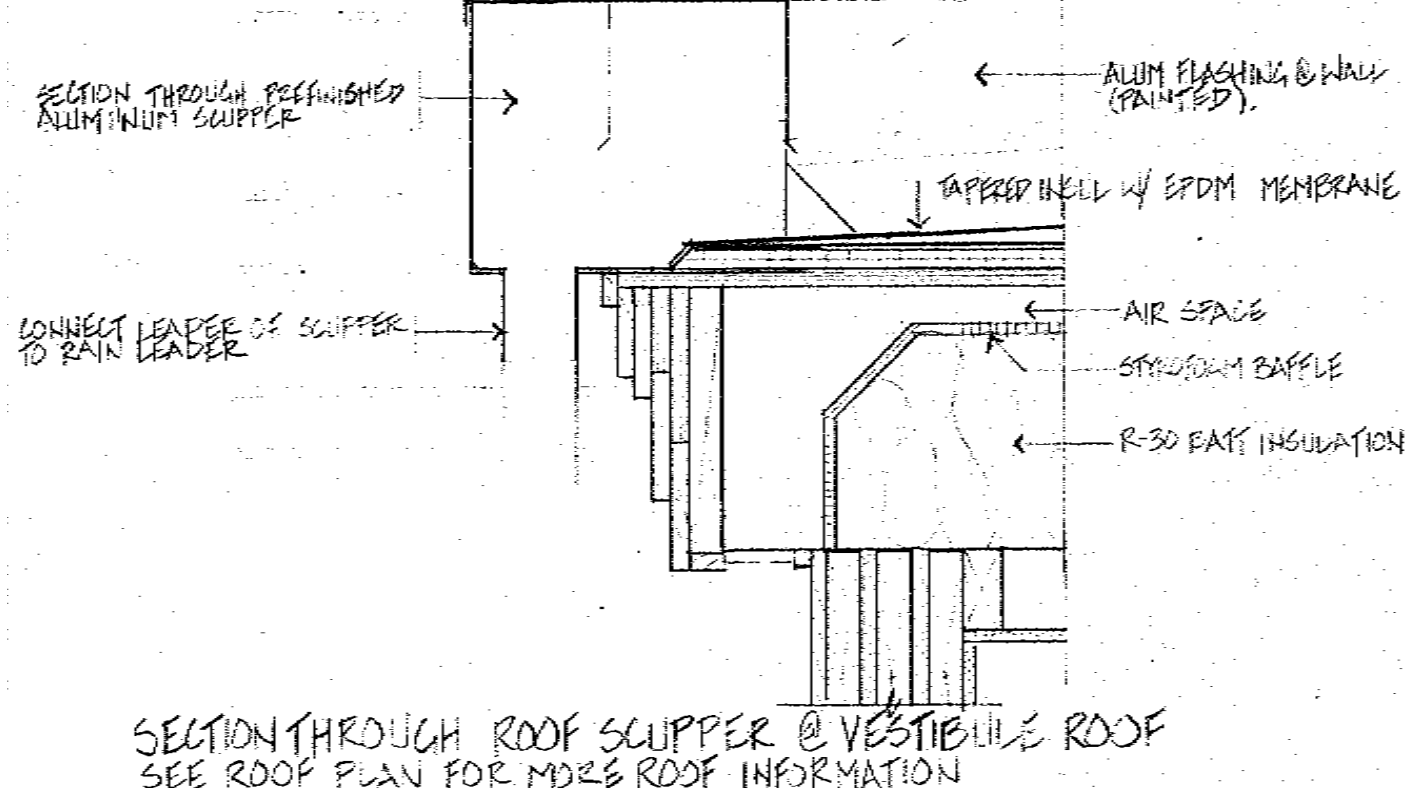
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NOTE:
ORIGINAL CONSTRUCTION, FOR REFERENCE ONLY. SEE NEW DETAILS/SECTIONS FOR NEW ROOF ASSEMBLY



NOTE:
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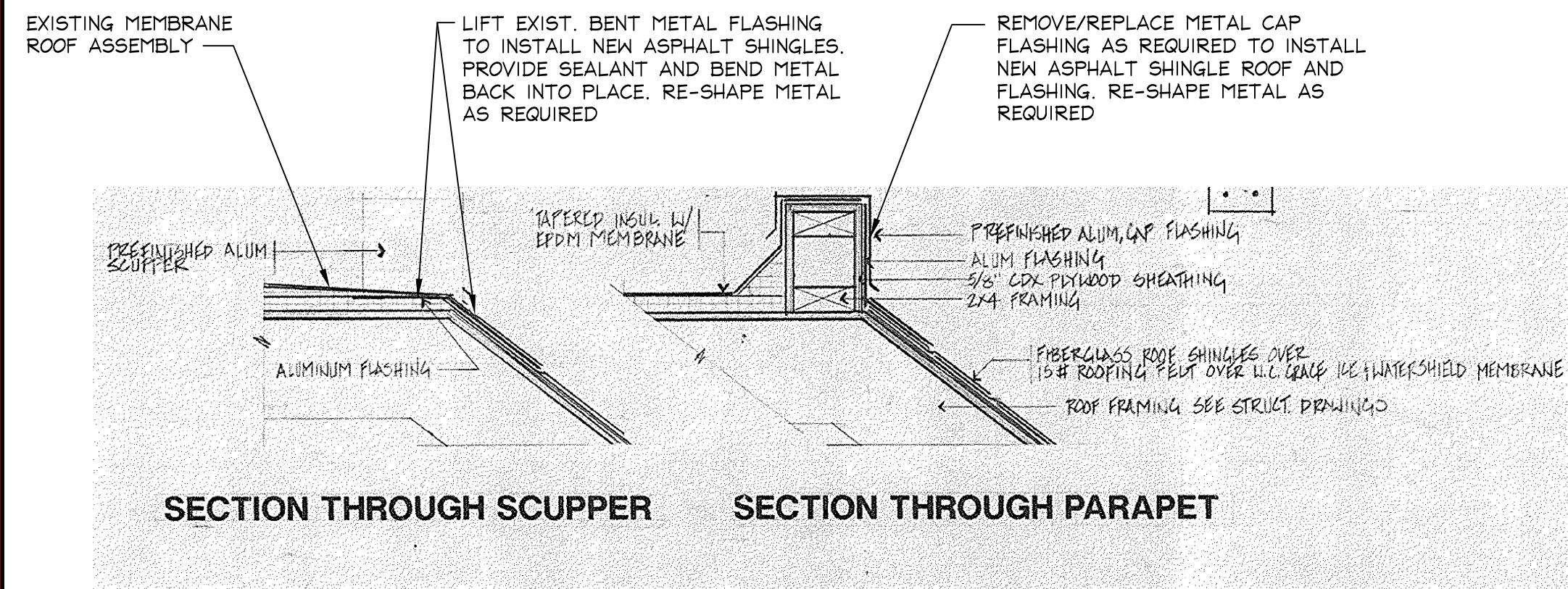


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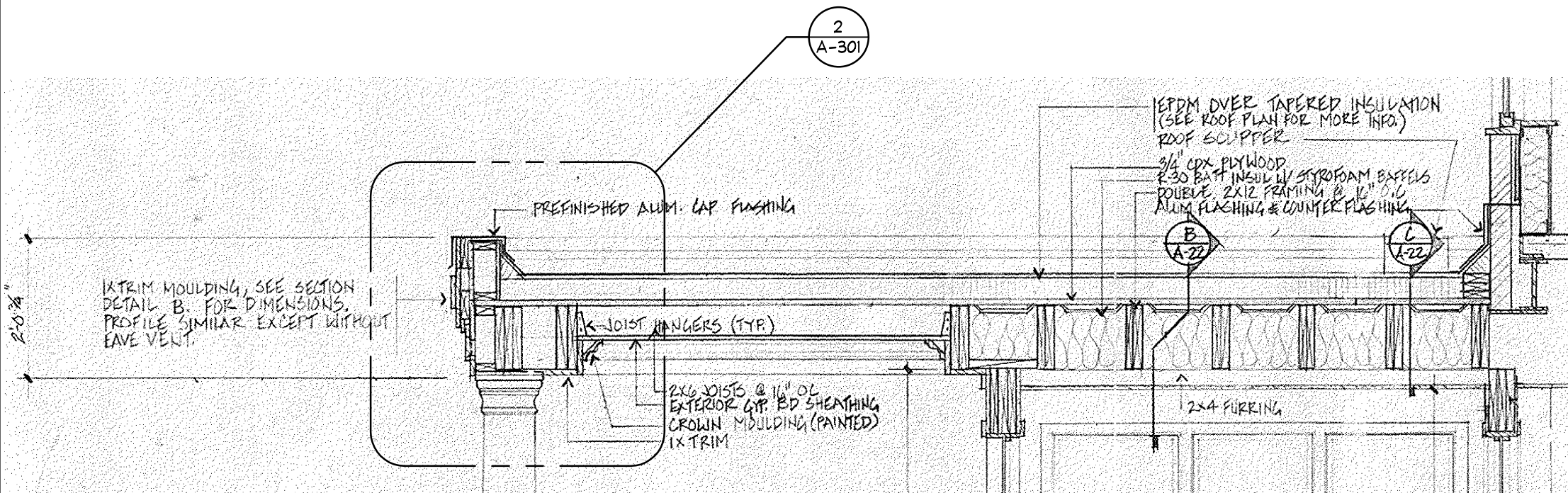
1 SECTION
A-301 3/4"=1'-0" 0 1' 2' 3'

2 SECTION
A-301 1/2"=1'-0" 0 1/2' 1' 2'

3 SECTION
A-301 1 1/2"=1'-0" 0 1/2' 1' 1 1/2'



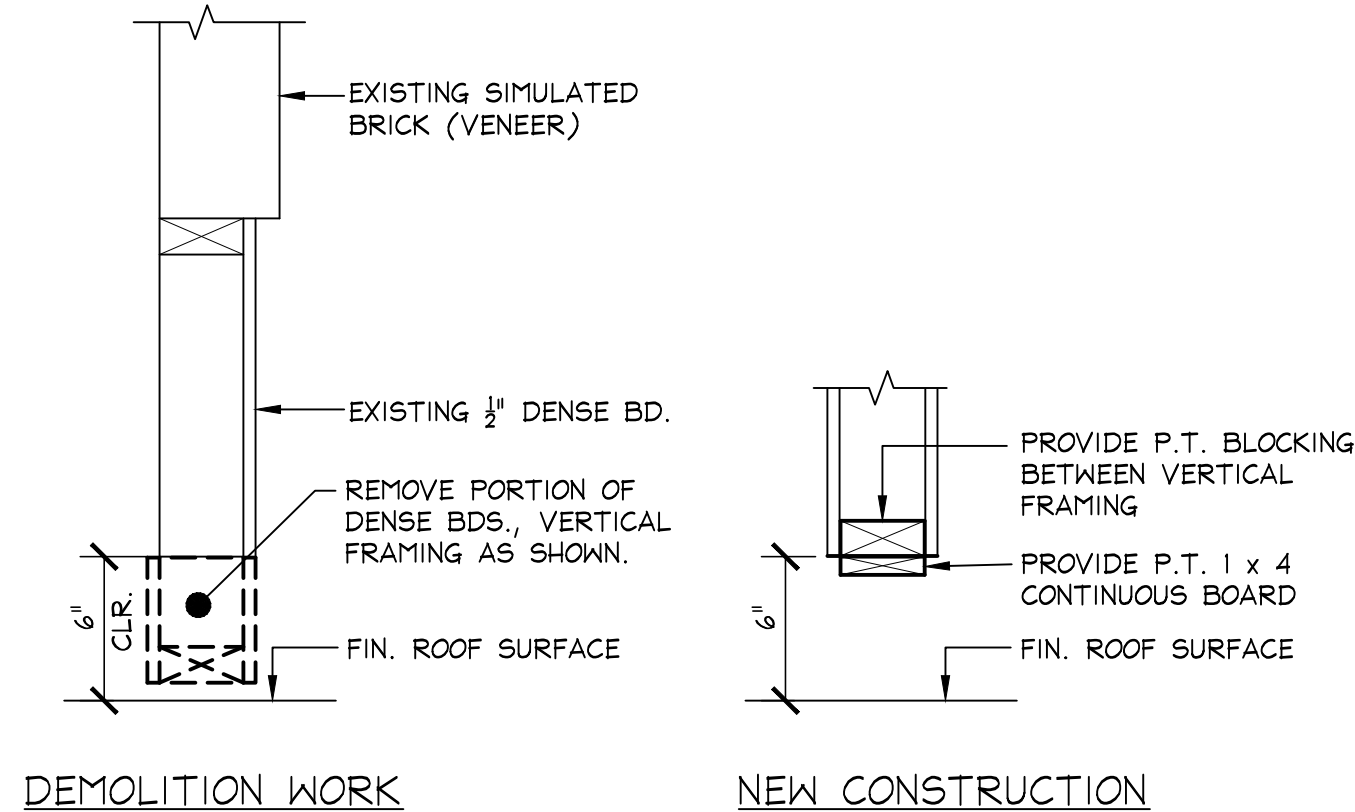
NOTE:
ORIGINAL CONSTRUCTION, FOR REFERENCE ONLY. SEE NEW DETAILS/SECTIONS FOR NEW ROOF ASSEMBLY



NOTE:
ORIGINAL CONSTRUCTION, FOR REFERENCE ONLY. SEE NEW DETAILS/SECTIONS FOR NEW ROOF ASSEMBLY

4A & 4B SECTION DETAILS
A-301 1 1/2"=1'-0" 0 1/2' 1' 1 1/2'

5 SECTION DETAIL
A-301 1/2"=1'-0" 0 1' 2' 4'



6 SECTION
A-301 1 1/2"=1'-0" 0 1/2' 1' 1 1/2'

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REV	DESCRIPTION	DRN CK'D	DATE
A	ISSUED FOR CLIENT REVIEW	DB	07/28/20
B	ISSUED FOR BIDDING	DB	03/12/21

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ROOF REPLACEMENT AND REPAIRS
ROOF SECTION DETAILS

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SCALE AS NOTED
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GRAPHIC SCALE:

PROJECT NUMBER:
TOL-8-008

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A-301	B

