

TOWN OF LONGMEADOW

COMMUNITY HOUSE

AREAWAY EXTERIOR DOOR REPLACEMENT

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PRELIMINARY

NOT TO BE
USED FOR
CONSTRUCTION

DRAWING LIST	DRAWING TITLE	REVISION	ISSUE DATE
G-001	TITLE SHEET	B	03/11/21
G-002	CHAPTER 34 REPORT	B	03/11/21
A-101	LOWER LEVEL PARTIAL PLAN, DOOR SCHEDULE AND DETAILS	B	03/11/21

REV.	DESCRIPTION	DRN CK'D.	DATE
A	ISSUED FOR CLIENT REVIEW	MC	12/4/20
B	ISSUED FOR BIDDING	MTK	03/11/21

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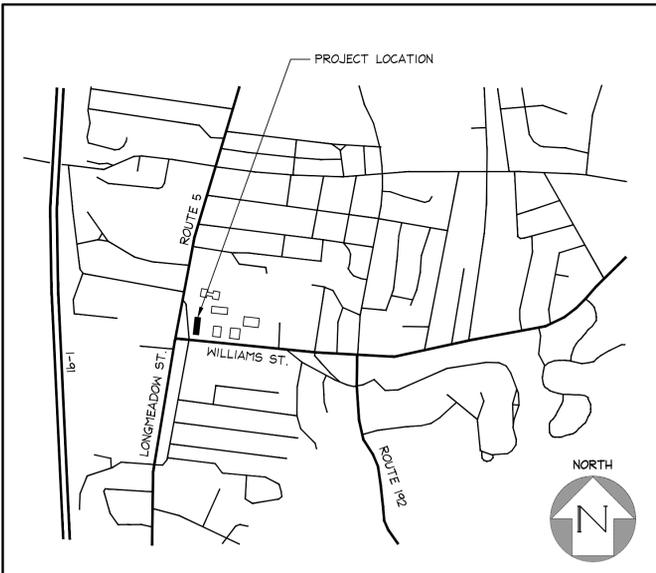
GENERAL NOTES (ALL TRADES)

- THE CONTRACTOR SHALL INCLUDE ALL TAXES (STATE AND FEDERAL).
- ALL WORK SHALL COMPLY WITH STATE AND LOCAL CODES AND ORDINANCES. THE CONTRACTOR(S) SHALL APPLY FOR ALL PERMITS, AND SHALL PAY ALL PERMIT RELATED FEES. ALL NECESSARY PERMITS SHALL BE OBTAINED PRIOR TO THE START OF WORK, AND THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR OBTAINING THE 'OCCUPANCY CERTIFICATE' PRIOR TO OCCUPANCY.
- CONTRACTOR(S) SHALL PROVIDE ALL NECESSARY SERVICE ON ALL MATERIALS AND WORKMANSHIP PROVIDED UNDER THIS CONTRACT FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE OF FINISHED INSTALLATION AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR(S) SHALL EXTEND ALL AVAILABLE WARRANTIES ON THE EQUIPMENT IN WRITING TO THE OWNER.
- THE CONTRACTOR(S) SHALL MAINTAIN THE JOB CLEAR OF TRASH AND DEBRIS, AND SHALL PRESENT THE PROJECT TO THE OWNER FOR FINAL ACCEPTANCE CLEAN AND READY FOR OCCUPANCY. ALL GLASS AND METAL FRAMES SHALL BE CLEANED, ALL LABELS REMOVED, FLOORS SWEEPED BROOM CLEAN, CARPET VACUUMED AND THE PROJECT AREA LEFT FREE OF TRASH AND DEBRIS.
- TEMPORARY FACILITIES FOR PROTECTION OF TOOLS AND EQUIPMENT SHALL CONFORM TO LOCAL REGULATIONS AND SHALL BE THE CONTRACTOR(S) RESPONSIBILITY.
- THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. SAFETY, CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION, AND COMPLIANCE WITH STATE AND FEDERAL REGULATIONS REGARDING SAFETY SHALL BE THE CONTRACTOR(S) RESPONSIBILITY.
- THE CONTRACTOR AND HIS SUB-CONTRACTORS SHALL VISIT THE SITE AND BECOME FAMILIAR WITH ALL CONDITIONS PRIOR TO SUBMITTING HIS PROPOSAL. CLAIMS FOR EXTRA PAYMENT WILL NOT BE ALLOWED BECAUSE OF UNFAMILIARITY WITH THE WORK TO BE PERFORMED BY OTHER TRADES, EXISTING CONDITIONS AT THE JOB SITE, LOCAL, STATE OR FEDERAL LAWS, OR ALTERATIONS DUE TO FIELD CONDITIONS.
- CONTRACTOR(S) SHALL VERIFY ALL DIMENSIONS IN BOTH HORIZONTAL AND VERTICAL PLANES AND CONDITIONS SHOWN ON THE CONTRACT DOCUMENTS WITH THOSE ON THE JOB PRIOR TO COMMENCEMENT OF ANY WORK. ANY VARIATION WHICH REQUIRES PHYSICAL CHANGE SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER.
- THE CONTRACTOR AND HIS SUB-CONTRACTORS SHALL IMMEDIATELY CONTACT THE ARCHITECT/ENGINEER AND PROVIDE A SHOP DRAWING/SKETCH FOR DETERMINATION, SHOULD HE FIND ANY CONFLICT OR INCONSISTENCY BETWEEN THE WORK SHOWN ON THE CONTRACT DOCUMENTS AND NORMAL ACCEPTED CONSTRUCTION PRACTICES, OR ASSUME RESPONSIBILITY FOR ALL CORRECTIONS.
- MODIFICATIONS REQUIRED FOR ANY REVISIONS TO THE CONTRACT DOCUMENTS INITIATED BY THE CONTRACTOR OR SUB-CONTRACTOR WITHOUT PRIOR WRITTEN APPROVAL BY THE ARCHITECT/ENGINEER SHALL BE ACCOMPLISHED AT THE CONTRACTOR(S) RISK.

- DO NOT SCALE OFF DRAWINGS FOR ANY PURPOSE.
- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO OWNER/PLANT STANDARDS, AS A MINIMUM, OR THESE DRAWINGS, WHICHEVER IS MORE STRINGENT.
- ALL STAIRS AND CORRIDORS AND MEANS OF EGRESS ROUTES SHALL REMAIN ACCESSIBLE AT ALL TIMES.
- PROVIDE SELF ADHERING WALK-OFF MATS AT ALL ENTRY/EXIT LOCATIONS. MAINTAIN AND REPLACE AS REQUIRED THROUGHOUT CONSTRUCTION.
- EXISTING CONSTRUCTION NOT SCHEDULED FOR WORK SHALL BE PROTECTED THROUGHOUT CONSTRUCTION. INCLUDING BUT NOT LIMITED TO FIRE ALARM PULL STATIONS, HORNS, STROBES, THERMOSTATS, PARTITIONS, CEILINGS, FLOOR FINISHES, AND FURNISHINGS.
- CONTRACTOR(S) SHALL SUBMIT FOUR (4) COPIES OF CATALOG CUT SHEETS FOR ALL MATERIALS TO THE ARCHITECT/ENGINEER FOR APPROVAL BEFORE ANY WORK IS TO BEGIN. NO CHANGES OR SUBSTITUTIONS ALLOWED WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT/ENGINEER OR OWNER.
- CONTRACTOR(S) SHALL COORDINATE WITH OTHER TRADES TO ELIMINATE ANY INTERFERENCES WITH PIPES, DUCTS, ETC.
- ALL CONSTRUCTION COMPONENT, EQUIPMENT/SYSTEMS AND SUBMITTALS SHALL COMPLY WITH THE ENERGY CODE OF THE STATE IN WHICH THE BUILDING IS LOCATED.
- IT IS THE INTENTION OF THE DRAWINGS TO CALL FOR FINISHED WORK, TESTED, AND READY FOR OPERATION.
- ACCESSIBLE ACCESSORIES/DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE STATE CODE IN WHICH THE BUILDING IS LOCATED.
- MISCELLANEOUS DEFINITIONS:
 'FURNISH' MEANS SUPPLY AND DELIVER TO THE PROJECT SITE OR OTHER DESIGNATED LOCATION, READY FOR UNLOADING, UNPACKING, STORING, ASSEMBLY, INSTALLATION, APPLICATION, ERECTION, OR OTHER FORM OF INCORPORATION INTO THE PROJECT, AND MAINTAINED READY FOR USE. SUPPLY AND DELIVER PRODUCTS REQUIRING ADDITIONAL OR SUPPLEMENTAL FITTING, ASSEMBLY, FABRICATION, OR INCORPORATION INTO OTHER ELEMENTS OF THE PROJECT DIRECTLY TO THE FABRICATOR, INSTALLER OR MANUFACTURER AS REQUIRED.
 'INSTALL' MEANS UNLOAD, UNPACK, USE, FIT, ATTACH, ASSEMBLE, APPLY, PLACE, ANCHOR, ERECT, FINISH, CURE, PROTECT, CLEAN, AND SIMILAR OPERATIONS REQUIRED TO PROPERLY INCORPORATE WORK INTO THE PROJECT.
 'PROVIDE' MEANS FURNISH AND INSTALL COMPLETE, AND READY FOR USE. PROVIDE ANY AND ALL ITEMS NECESSARY TO COMPLETE THE SYSTEMS.
- WHERE PRE-MANUFACTURED COMPONENTS/DEVICES/EQUIPMENT (ETC.) ARE IDENTIFIED, THE CONTRACTOR SHALL STRICTLY FOLLOW ALL MANUFACTURER INSTRUCTIONS AND RECOMMENDATIONS FOR INSTALLATION.
- ANY DAMAGE TO EXISTING UTILITIES, STRUCTURES, FINISHES OR PROPERTY MUST BE REPORTED TO THE OWNER FOR REVIEW AND DIRECTION AS TO THE REPAIR, REPLACEMENT OR ABANDONMENT AT THE CONTRACTOR'S EXPENSE.

DEMOLITION NOTES (ALL TRADES)

- CONTRACTOR SHALL ERECT ALL SAFETY BARRICADES AND POST PROPER NOTICES PRIOR TO COMMENCING WORK.
- GC SHALL COORDINATE ALL SUBCONTRACTOR DEMOLITION, CUTTING, PATCHING, ETC.
- ITEMS TO BE REMOVED SHALL BE CLEANLY CUT BACK TO THE LIMITS SHOWN ON THE DRAWINGS, OR AS DIRECTED BY THE OWNER REPRESENTATIVE OR ARCHITECT.
- DEMOLISH ALL WORK IN A SAFE MANNER AND PROTECT ALL WORK WHICH IS TO REMAIN. RESTORE ALL CONDITIONS WHICH BECOME DAMAGED, THAT ARE NOT SCHEDULED TO BE DEMOLISHED, TO THEIR ORIGINAL STATE.
- CONTRACTOR SHALL ERECT DUST PARTITION/PROTECTION BARRIERS TO PROTECT ADJACENT AREAS TO REMAIN, AND CONTRACTOR SHALL CLEAN THOSE AREAS WHICH HAVE BECOME AFFECTED.
- CONTRACTOR SHALL COMPLY WITH RULES AND REGULATIONS ESTABLISHED BY GOVERNMENTAL AGENCIES TO PROPERLY TRANSPORT DEMOLITION MATERIALS USING CONTAINERS DESIGNED FOR PARTICULAR WASTE TO APPROVED DISPOSAL SITES. CONTRACTOR SHALL OBTAIN ALL PERMITS AND PAY ALL FEES. DEBRIS SHALL BE REMOVED ON A DAILY BASIS.
- CONTRACTOR SHALL IMMEDIATELY HALT WORK AND NOTIFY ARCHITECT/ENGINEER IF HAZARDOUS MATERIAL IS FOUND DURING DEMOLITION.
- COORDINATE WITH OWNER FOR THOSE ITEMS WHICH ARE TO BE TURNED OVER TO OWNER, OR THOSE ITEMS WHICH ARE TO BE REMOVED BY OWNER.
- COORDINATE WITH OWNER FOR WORK NEAR MACHINERY/EQUIPMENT AND BUILDING SYSTEMS AND FOR HVAC, PLUMBING OR ELECTRICAL SHUT DOWNS PRIOR TO DEMOLITION.
- ALL ELECTRICAL POWER SHALL BE DISCONNECTED AND TEMPORARY LIGHTING PROVIDED PRIOR TO DEMOLITION.
- PRIOR TO CORE DRILLING CONCRETE FLOOR SLABS, CONTRACTOR SHALL PERFORM X-RAY OR RADAR CHECKING FOR EXISTING OBSTRUCTIONS. PROCEEDING WITH WORK WITHOUT VERIFICATION WILL BE AT THE CONTRACTOR'S RISK AND EXPENSE.



TOWN OF LONGMEADOW - COMMUNITY HOUSE
735 LONGMEADOW STREET
LONGMEADOW, MA 01106

PROJECT DESCRIPTION
AREAWAY EXTERIOR DOOR REPLACEMENT

DRAWING TITLE
TITLE SHEET

DRAWN BY	MC
DATE DRAWN	12/4/20
SCALE	AS NOTED
APV'D BY	
CAD CODE:	TOL-7-013-G-001.dwg
GRAPHIC SCALE:	
PROJECT NUMBER:	TOL-7-013
DRAWING NUMBER	G-001
REV.	B

1	LOCUS PLAN
G-001	N.T.S.

PLOT DATE=3/11/2021 10:38:46 AM USER=MARIANNE KOLODZIEJ FILENAME=I:\CAD\Current\TOL-07-013-CH exterior door replacement\SETUP\DRAWINGS\CAD Files\TOL-7-013-G-001.dwg



Town Of Longmeadow
Community House
Areaway Exterior Door Replacement
 735 Longmeadow Street
 Longmeadow, MA
 TOL-7-013
 December, 2020

780 CMR 9th Edition Chapter 34.00 Analysis and Report
Prescriptive Compliance Method

- As per the 9th Edition of 780 CMR 34.00, effective 1/01/18, the Existing Building Code in Massachusetts is, by adoption, the International Existing Building Code-2015 (IEBC-2015) with Massachusetts amendments.
- As per 780 CMR Chapter 34.00 Section 101.1, these regulations shall be known as the Existing Building Code of Massachusetts, hereinafter referred to as 780 CMR 34.00.
- The proposed work is controlled construction as per 780 CMR Section 107. This written report details the results of an investigation and evaluation of the existing building in accordance with the stipulations of 780 CMR 34.00 Section 101.4.2.1.
- This report assumes that there are no outstanding notices of violations or other orders from the building official concerning the condition or use of the subject building. (780 CMR Section 102.6.4 Existing Means of Egress, Lighting and Ventilation).
- This report is intended to be submitted to the building official as a necessary precondition of the issuance of a building permit.

Reference Data

This building is a contributing element to a historic district. As such it is subject to the provisions of Section 408 of the Massachusetts version of the 2015-IEBC. The structure is a two story building with a full basement. Constructed in early 1921, it is of Type III-D construction (concrete structural frame, masonry exterior walls, wood roof frame less than 20' above the floor below).

The building currently has mixed occupancy:

Lower Level:	Business – B	Municipal offices
First Floor:	Assembly – A	An auditorium that can be divided into smaller spaces. There is also a kitchen. The town has a posted occupancy of 200 occupants. There is also a municipal office on the first floor.
Second Floor:	Business – B	Vacant. Formerly occupied for a dance studio.

The building is not sprinklered. There will be no Change of Occupancy.

Project Description

The project scope includes the following Work:
 Removal and replacement of the two (2) exterior doors in the easterly areaway. The doors provide ingress egress to the lower level occupied floors.
Occupancy Category of Building or Structure (from 780 CMR, Table 1604.5)

- Occupancy Category II

Seismic Design Category (from 780 CMR Section 1613.3.5)

- Table 1613.3.5 (1): B
- Table 1613.3.5 (2): B

Chapter 1 - Scope and Administration **Applicable**

Part I- Scope and Application

Section 101 General **Applicable**
 101.1 Title
 These regulations shall be known as the *Existing Building Code of Massachusetts*, hereinafter referred to as 780 CMR 34.00.

101.2 Scope. **Applicable**
 The provisions of the *International Existing Building Code of Massachusetts-2015* shall apply to the repair, alteration, change of occupancy, addition and relocation of existing buildings.

- Notes:
- Requirements in 780 CMR 34.00 conflict with similar requirements in 780 CMR 1.00 *Scope and Administration*, then 780 CMR 1.00 controls.
 - When 780 CMR 34.00 references requirements in other I-Codes, see 780 CMR 1.00 *Scope and Administration* for guidance on how to use those I-Codes.
 - Requirements in 780 CMR 34.00 for plumbing, fuel gas, electrical, elevators, fire, or accessibility shall be replaced by the requirements of the Massachusetts specialty codes, as indicated in 780 CMR 1.00, *Scope and Administration*.

101.3 Intent. **Applicable**
 The intent of this code is to provide flexibility to permit the use of alternative approaches to achieve compliance with minimum requirements to safeguard the public health, safety and welfare insofar as they are affected by the *repair, alteration, change of occupancy, addition and relocation of existing buildings*.

101.4 Applicability. **Applicable**
 This code shall apply to the *repair, alteration, change of occupancy, addition and relocation of existing buildings*, regardless of occupancy, subject to the criteria of Sections 101.4.1 and 101.4.2.

101.4.1 Buildings Not Previously Occupied. **Not Applicable**
 A building or portion of a building that has not been previously occupied or used for its intended purpose in accordance with the laws in existence at the time of its completion shall be permitted to comply with the provisions of the laws in existence at the time of its original permit unless such permit has expired. Subsequent permits shall comply with the 780 CMR 1.00 through 35.00 or 780 CMR 51.00, as applicable, for new construction.

101.4.2 Buildings Previously Occupied. **Applicable**
 The legal occupancy of any building existing on the date of adoption of this code (10/20/17) shall be permitted to continue without change, except as is specifically covered in this code, 527 CMR or 780 CMR, or as is deemed necessary by the *code official* for the general safety and welfare of the occupants and the public.

101.5 Safeguards During Construction. **Applicable**

Construction work covered in this code, including any related demolition, shall comply with the requirements of Chapter 15.

101.6 Appendices. **Applicable**
 The *code official* is authorized to require rehabilitation and retrofit of buildings, structures or individual structural members in accordance with the appendices of this code if such appendices have been individually adopted.

101.7 Correction of Violations of Other Codes. **Applicable**
Repairs or alterations mandated by any property, housing, or fire safety maintenance code or mandated by any licensing rule or ordinance adopted pursuant to law shall conform only to the requirements of that code, rule, or ordinance and shall not be required to conform to this code unless the code requiring such *repair or alteration* so provides.

Part 2-Administration and Enforcement

Section 104 Duties and Powers of Code Official **Applicable**
104.2.2.1 Building Investigation and Evaluation. **Applicable**
 For any proposed work regulated by 780 CMR 34.00 and subject to section 107 of 780 CMR, as a condition of the issuance of a permit, the building owner shall cause the existing building (or portion thereof) to be investigated and evaluated in accordance with the provisions of 780 CMR 34.00. The investigation and evaluation shall be in sufficient detail to ascertain the effects of the proposed work on at least these systems: structural, means of egress, fire protection, energy conservation, lighting, hazardous materials, accessibility, and ventilation for this space under consideration and, where necessary, the entire building or structure and its foundation if impacted by the proposed work. The results of the investigation and evaluation, along with any proposed compliance alternatives, shall be submitted to the building official in written report form.

In brief, the following table indicates the effects of the proposed work on the above listed systems:

Structural Dsgn Gravity Load	-None
Structural Lateral Load Capacity	-None
Means of Egress	-None
Fire Protection	-None
Fire Resistive Construction	-None
Energy Conservation	-Will be Improved
Lighting	-None
Hazardous Materials	-None
Accessibility	-None
Ventilation	-None

The following report expands on the above list and documents the results of the investigation and evaluation of the subject building or structure, along with any proposed compliance alternatives.

104.10.1 Flood Hazard Areas. Not Applicable For existing buildings located in flood hazard areas....	
104.11 Compliance Alternative. Not Applicable Where compliance with the provisions of the code for new construction, required by 780 CMR 34.00, is impractical because of construction difficulties or regulatory conflicts, compliance alternatives may be accepted by the building official. The building official may accept these compliance alternatives, archite materials and assemblies in Resource A of 780 CMR 34.00, or others alternatives proposed. If the compliance alternative involves fire protection systems, the building official shall consult with the fire official. <ul style="list-style-type: none"> No compliance alternatives requested 	
Chapter 2 - Definitions Applicable	
Chapter 3 - Provisions for All Compliance Methods Applicable	
Section 301 Administration Applicable	
301.1 General. Applicable The repair, alteration, change of occupancy, addition or relocation of all existing buildings shall comply with one of the methods listed in Sections 301.1.1 through 301.1.3 as selected by the applicant. <ul style="list-style-type: none"> The work of this project shall comply with Section 301.1.1 Prescriptive compliance method, thus complying with Chapter 4 of this code. 	

Sections 301.1.1 through 301.1.3 shall not be applied in combination with each other.

Where this code requires consideration of the seismic-force-resisting system of an existing building subject to *repair, alteration, change of occupancy, addition or relocation of existing buildings*, the seismic evaluation and design shall be based on Section 301.1.4 regardless of which compliance method is used.

Exception: Subject to the approval of the *code official*, alterations complying with the laws in existence at the time the building or the affected portion of the building was built shall be considered in compliance with the provisions of this code unless the building is undergoing more than a limited structural alteration as defined in Section 907.4.4. New structural members added as part of the alteration shall comply with 780 CMR. **Applicable**
Alterations of existing buildings in flood hazard areas shall comply with Section 701.3. **Not Applicable**

Automatic sprinkler systems may be required by M.G.L. c. 148, Sections 26A, 26A 1/2, 26G, 26G 1/2, 26J, or 26J 1/2, or by M.G.L. c. 272 Sections 86 through 86D. See sections 101.4.5 and 903.2 of 780 CMR for additional guidance. **See "Other Pertinent Regulations" below**

301.1.1 Prescriptive Compliance Method. Applicable <i>Repairs, alterations, addition and changes of occupancy</i> complying with Chapter 4 of this code in buildings complying with the 527 CMR shall be considered in compliance with the provisions of this code.	
301.1.2 Work Area Compliance Method. Not Applicable for Prescriptive Compliance Method	
301.1.3 Performance Compliance Method. Not Applicable for Prescriptive Compliance Method	
301.1.4 Seismic Evaluation and Design Procedures. Applicable The seismic evaluation and design shall be based on the procedures specified in 780 CMR, ASCE 41. The procedures contained in Appendix A of this code shall be permitted to be used as specified in Section 301.4.2.	
301.1.4.1 Compliance with IBC-Level Seismic Forces. Applicable Where compliance with the seismic design provisions of 780 CMR is required, the criteria shall be in accordance with one of the following: <ul style="list-style-type: none"> 780 CMR using 100% of the prescribed forces. Applicable Compliance with ASCE 41, using a Tier 3 procedure and the two-level performance objective in Table 301.1.4.1 for the applicable risk category. Not Applicable 	
301.1.4.2 Compliance with Reduced IBC-Level Seismic Forces. Not Applicable Where seismic evaluation and design is permitted to meet reduced 780 CMR seismic force levels, the criteria used shall be in accordance with one of the following:	

- 780 CMR using 75% of the prescribed forces. **Not Applicable**
 Exception 1: 780 CMR using 50% of prescribed forces when directed here by Section 807.5, provided there is no substantial structural alteration, as defined by 907.4.2
 Exception 2: 780 CMR using either:
 - 50% of prescribed forces when directed here by Section 1103.3.1 and when the vertical addition increases the building area less than or equal to 30%, or,
 - 75% of prescribed forces when directed here by Section 1103.3.1 and when the vertical addition increases the building area more than 30% but less than 50%.
- Structures or portions of structures that comply with the requirements of the applicable chapter in Appendix A, as specified in Items 2.1 through 2.5 below and subject to the limitations of the respective Appendix A chapters, shall be deemed to comply with this section. **Not Applicable**
Section 2.1 The seismic evaluation and design of unreinforced masonry bearing wall buildings in Risk Category I or II are permitted to be based on the procedures specified in Appendix Chapter A1. **Not Applicable**
2.2 Seismic evaluation and design of the wall anchorage system in reinforced concrete and reinforced masonry wall buildings with flexible diaphragms in Risk Category I or II are permitted to be based on the procedures specified in Chapter A2. **Not Applicable**
2.3 Seismic evaluation and design of cripple walls and sill plate anchorage in residential buildings of light-frame wood construction in Risk Category I or II are permitted to be based on the procedures specified in Chapter A3. **Not Applicable**
2.4 Seismic evaluation and design of soft, weak, or open-front wall conditions in multistory residential buildings of wood construction in Risk Category I or II are permitted to be based on the procedures specified in Chapter A4. **Not Applicable**
2.5 Seismic evaluation and design of concrete buildings assigned in Risk Category III, or III are permitted to be based on the procedures specified in Chapter A5. **Not Applicable**
- ASCE 41, using the performance objective in Table 301.1.4.2 for the applicable risk category. **Not Applicable**

Section 302 General Provisions **Applicable**
 302.1 Applicability. **Applicable**
 The provisions of Section 302 apply to all alterations, repairs, additions, relocations of structures and changes of occupancy regardless of compliance method.

302.3 Existing Materials. Applicable Materials already in use in a building in compliance with requirements or approvals in effect at the time of their erection or installation shall be permitted to remain in use unless determined by the building official to be unsafe.	
302.4 New and Replacement Materials. Applicable Except as otherwise required or permitted by this code, materials permitted by the applicable code for new construction shall be used. Like materials shall be permitted for repairs and alterations, provided no unsafe condition is created. Hazardous materials shall not be used where the code for new construction would not permit their use in buildings of similar occupancy, purpose and location.	
302.5 Occupancy and Use. Applicable When determining the appropriate application of the referenced sections of this code, the occupancy and use of a building shall be determined in accordance with Chapter 3 of 780 CMR.	
302.6 Masonry Parapets. Not Applicable The following exception applies to requirements in 780 CMR 34.00 for masonry parapets: <ul style="list-style-type: none"> Exception: If the height-to-thickness ratio of an unreinforced masonry parapet does not exceed 2.5, then bracing is not required. For the purpose of this exception, the height shall be measured from either the level of tension anchors or the roof sheathing, whichever is lower. 	
302.7 Structural Requirements Pertaining to Roof Work. Not Applicable	
1. Structural requirements of parapets of unreinforced masonry required by section 403.5 and 707.3.1 of 780 CMR 34.00 shall only apply when the intended alteration requires a permit for roofing and when roof covering is removed from the entire roof diaphragm and not by the 25% roof area trigger found in sections 403.5 and 707.3.1 of 780 CMR 34.00. Not Applicable	
2. Structural requirements of roof diaphragms resisting wind loads in high-wind regions required by sections 403.8 and 707.3.2 of 780 CMR 34.00, when the intended alteration requires a permit for roofing, shall only apply when roof covering is removed from the entire roof diaphragm and the building is located where the ultimate design wind speed is greater than 150 mph and the building is Risk Category IV in accordance with Table 1604.5 of 780 CMR. Not Applicable	
302.8 Structural Requirements Pertaining to Major Alterations. Not Applicable	
1. Structural requirements required by section 403.6 and 907.4.5 of 780 CMR 34.00 for unreinforced masonry walls shall apply to buildings in seismic design category B in addition to categories C, D, E and F found in these sections and shall require roof and floor levels to be anchored to the walls. Not Applicable	
2. Structural requirements required by section 403.7 and 907.4.6 of 780 CMR 34.00 for unreinforced masonry parapets shall apply to buildings in seismic design category B in addition to categories C, D, E and F in these sections.	
302.9 Provisions for Change in Occupancy Classification to R, I or E Use. Not Applicable	
302.10 Fire Detection Systems in R-2 Uses Which Are Not Currently Equipped with Sprinklers. Not Applicable When 780 CMR 34.00 requires a smoke detection system in an R-2 Use and does not additionally require an NFPA 13, 13R or 13D system installed throughout the building, then subsections 302.10.1 through 302.10.3 shall apply.	

Chapter 4 - Prescriptive Compliance Method

Section 401 General	Applicable
401.1 Scope. Applicable The provisions of this chapter shall control the <i>alteration, repair, addition and change of occupancy or relocation of existing buildings and structures, including historic buildings and structures</i> as referenced in Section 301.1.1.	
Exception: Existing bleachers, grandstands and folding and telescopic seating shall comply with ICC 300. Not Applicable	
401.1.1 Compliance with Other Methods. Applicable <i>Alterations, repairs, additions and changes of occupancy</i> to or relocation of, <i>existing buildings</i> shall comply with the provisions of this chapter or with one of the methods provided in Section 301.1.	

- 401.2 Building Materials and Systems. **Applicable**
Building Materials and systems shall comply with the requirements of this section.
- 401.2.1 Existing Materials. **Applicable**
Materials already in use in a building in compliance with requirements or approvals in effect at the time of their erection or installation shall be permitted to remain in use unless determined by the building official to be unsafe per Section 115.
- 401.2.2 New and Replacement Materials. **Applicable**
Except as otherwise required or permitted by this code, materials permitted by the applicable code for new construction shall be used. Like materials shall be permitted for repairs and alterations, provided no hazard to life, health or property is created. Hazardous materials shall not be used where the code for new construction would not permit their use in buildings of similar occupancy, purpose and location.
- 401.2.3 Existing Seismic Force-Resisting Systems. **Not Applicable**
Where the existing seismic force-resisting system is a type that can be designated ordinary, values of R, Omega, and C_u for the existing seismic force-resisting system shall be those specified by 780 CMR for an ordinary system unless it is demonstrated that the existing system will provide performance equivalent to that of a detailed, intermediate or special system.
- 401.3 Dangerous Conditions. **Applicable**
The building official shall have authority to require the elimination of conditions deemed dangerous.
- Section 402 Additions **Not Applicable**
- Section 403 Alterations **Not Applicable**
- Section 404 Repairs **Applicable**
404.1 General. **Applicable**
Buildings and structures, and parts thereof, shall be repaired in compliance with Section 401.2 and 404. Work on nondamaged components that is necessary for the repair of damaged components shall be considered part of the repair and shall not be subject to the requirements for alterations in this chapter. Routine maintenance required by Section 401.2, ordinary repairs exempt from permit in accordance with Section 105.2, and attachment of wear due to normal service conditions shall not be subject to the requirements for repairs in this section.
 404.2 Substantial Structural Damage to Vertical Elements of the Lateral Force-Resisting System. **Applicable**
A building that has sustained *substantial structural damage* to the vertical elements of its lateral force-resisting system shall be evaluated and repaired in accordance with the applicable provisions of Sections 404.2.1 and 404.2.3. **Not Applicable**
 Exception 1: **Not Applicable**
Buildings assigned to Seismic Design Category A, B or C whose substantial structural damage was not caused by earthquake need not be evaluated or rehabilitated for load combinations that include earthquake effects.
 Exception 2: **Not Applicable**
One- and two-family dwellings need not be evaluated or rehabilitated for load combinations that include earthquake effects.
 404.2.1 Evaluation. **Not Applicable**
The building shall be evaluated by a registered design professional, and the evaluation findings shall be submitted to the building official. The evaluation shall establish whether the damaged building, if repaired to its pre-damage state, would comply with the provisions of 780 CMR for wind and earthquake loads.
 Wind loads for this evaluation shall be those prescribed in 780 CMR Section 1609. Earthquake loads for this evaluation, if required, shall be permitted to be 75 percent of those prescribed in 780 CMR Section 1613. Alternately, compliance with ASCE 41, using the performance objective in Table 301.1.4.2 for the applicable risk category, shall be deemed to meet the earthquake evaluation requirement.
 404.2.2 Extent of Repair for Compliant Buildings. **Not Applicable**
If the evaluation establishes compliance of the pre-damage building in accordance with Section 404.2.1, then repairs shall be permitted that restore the building to its pre-damage state.
 404.2.3 Extent of Repair for Noncompliant Buildings. **Not Applicable**
If the evaluation does not establish compliance of the pre-damage building in accordance with Section 404.2.1, then the building shall be rehabilitated to comply with the applicable provisions of 780 CMR for load combinations that include wind or seismic loads. The wind loads for the repair shall be as required by the building code in effect at the time of original construction, unless the damage was caused by wind, in which case the wind loads shall be as required by 780 CMR. Earthquake loads for this rehabilitation design shall be those required for the design of the pre-damage building, but not less than 75 percent of those prescribed in 780 CMR Section 1613. New structural members and connections required by this rehabilitation design shall comply with the detailing provisions of 780 CMR for new buildings of similar structure, purpose and location. Alternatively, compliance with ASCE 41, using the performance objective in Table 301.1.4.2 for the applicable risk category, shall be deemed to meet the earthquake evaluation requirement.
- 404.3 Substantial Structural Damage to Gravity Load-Carrying Components. **Not Applicable**
Gravity load-carrying components that have sustained *substantial structural damage* shall be rehabilitated to comply with the applicable provision of 780 CMR for dead and live loads. Snow loads shall be considered if the substantial structural damage was caused by or related to snow load effects. Existing gravity load-carrying structural elements shall be permitted to be designed for live loads approved prior to the damage. If the approved live load is less than that required by Section 1607 of 780 CMR, the area designed for the nonconforming live load shall be potted with placards of approved design indicating the approved live load. Nondamaged gravity load-carrying components that receive dead, live or snow loads from rehabilitated components shall also be rehabilitated or shown to have the capacity to carry the design loads of the rehabilitation design. New structural members and connections required by this rehabilitation design shall comply with the detailing provisions of 780 CMR for new buildings of similar structure, purpose and location.
 404.3.1 Lateral Force-Resisting Elements. **Not Applicable**
Regardless of the level of damage to vertical elements of the lateral force-resisting system, if *substantial structural damage* to gravity load-carrying components was caused primarily by wind or earthquake effects, then the building shall be evaluated in accordance with Section 404.2.1 and, if noncompliant, rehabilitated in accordance with Section 404.2.3.
 Exception 1: **Not Applicable**
One- and two-family dwellings need not be evaluated or rehabilitated for load combinations that include earthquake effects.
 Exception 2: **Not Applicable**
Buildings assigned to Seismic Design Category A, D or C whose substantial structural damage was not caused by earthquake need not be evaluated or rehabilitated for load combinations that include earthquake effects.
 404.4 Less than Substantial Structural Damage. **Not Applicable**

For damage less than *substantial structural damage*, repairs shall be allowed that restore the building to its pre-damage state. New structural members and connections used for this repair shall comply with the detailing provisions of 780 CMR for new buildings of similar structure, purpose and location.
 404.4.1 Repairs for Less than Structural Damage due to Snow Load Effects. **Not Applicable**
 Damaged roof framing components that have sustained less than substantial structural damage caused by or related to snow load effects shall be rehabilitated to comply with the applicable provisions for dead and snow loads in 780 CMR 16.00: *Structural Design*. Undamaged roof framing components that receive dead or snow loads from rehabilitated components shall also be rehabilitated to comply with the design loads of the rehabilitated design.
 404.5 Flood Hazard Areas. **Not Applicable**
 Where buildings and structures in flood hazard areas established by 780 CMR Section 1612.3, or Section R322 of 780 CMR 51, as applicable, any repair that constitutes *substantial improvement* or repair of *substantial damage* of the existing structure shall comply with the flood design requirements for new construction, and all aspects of the existing structure shall be brought into compliance with the requirements for new construction for flood design.

Section 405 Fire Escapes	Not Applicable
Section 406 Glass Replacement and Replacement Windows	Not Applicable
Section 407 Change of Occupancy	Not Applicable
Section 408 Historic Buildings	Applicable

408.1 Historic Buildings. **Applicable**
 The provisions of this code that require improvements relative to a building's existing condition or, in the case of repairs, that require improvements relative to a building's pre-damage condition, shall not be mandatory for historic buildings unless specifically required by this section.

408.2 Life Safety Hazards. **Applicable**
 The provisions of this code shall apply to historic buildings judged by the building official to constitute a distinct life safety hazard.

408.3 Flood Hazard Areas. **Not Applicable**
 Within *flood hazard areas* established in accordance with 780 CMR Section 1612.3 or Section R322 of 780 CMR 51, as applicable, where the work proposed constitutes *substantial improvement*, the building shall be brought into compliance with 780 CMR Section 1612, or Section R322 of 780 CMR 51, as applicable. Exception: *Historic buildings* need not be brought into compliance that are:

- Listed or preliminarily determined to be eligible for listing in the National Register of Historic Places;
- Determined by the Secretary of the U.S. Department of Interior as contributing to the historical significance of a registered historic district or as a district preliminarily determined to qualify as an historic district; or
- Designated as historic under a state of local historic preservation program that is approved by the Department of Interior.

Section 409 Moved Structures	Not Applicable
Section 410 Accessibility for Existing Buildings	Applicable Refer to ACCESSIBILITY COMPLIANCE 521 CMR below for details of design compliance.
Chapter 5 - Classification of Work	Not Applicable for Prescriptive Compliance Method
Chapter 6 - Repairs	Not Applicable for Prescriptive Compliance Method
Chapter 7 - Alterations-Level 1	Not Applicable for Prescriptive Compliance Method
Chapter 8 - Alterations-Level 2	Not Applicable for Prescriptive Compliance Method
Chapter 9 - Alterations-Level 3	Not Applicable for Prescriptive Compliance Method
Chapter 10 - Change of Occupancy	Not Applicable for Prescriptive Compliance Method
Chapter 11 - Additions	Not Applicable for Prescriptive Compliance Method
Chapter 12 - Historic Buildings	Not Applicable for Prescriptive Compliance Method
Chapter 13 - Relocated or Moved Buildings	Not Applicable for Prescriptive Compliance Method
Chapter 14 - Performance Compliance Methods	Not Applicable for Prescriptive Compliance Method
Chapter 15 - Construction Safeguards	Applicable Contractor Shall Comply

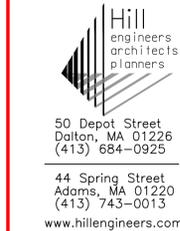
- End of Chapter 34 -

OTHER PERTINENT REGULATIONS

- 780 CMR 9.00 FIRE PROTECTION SYSTEMS
- 915 CARBON MONOXIDE DETECTION (for all R-Uses). **Not Applicable**
- M.G.L. c. 148, s. 26G - AUTOMATIC SPRINKLER SYSTEMS

Every building or structure, including any additions or major alterations thereto, which totals, in the aggregate, more than 7,500 gross square feet in floor area shall be protected throughout with an adequate system of automatic sprinklers in accordance with the provisions of the state building code. No such sprinkler system shall be required unless sufficient water and water pressure exists. For purposes of the section, the gross square footage of a building or structure shall include the sum total of the combined floor areas for all floor levels, basements, sub-basements and additions, in the aggregate, measured from the outside walls, irrespective of the existence of interior fire resistive walls, floors, and ceilings. This section shall not apply to buildings used for agricultural purposes as defined in section 1A of chapter 128.
 Does Not Apply - aggregate building area is more than 7500 GSF; however, the work is not considered "major alterations or modifications" as defined by the advisory guidance document issued by Automatic Sprinkler Appeals Board on Oct. 14, 2009. The work area involved amounts to less than 33% of the "total gross square footage" of the building and is less than 33% of the assessed value.

ACCESSIBILITY COMPLIANCE - 521 CMR
 521 CMR -Applicable - The replacement doors and hardware work being performed will comply. -End of Report-



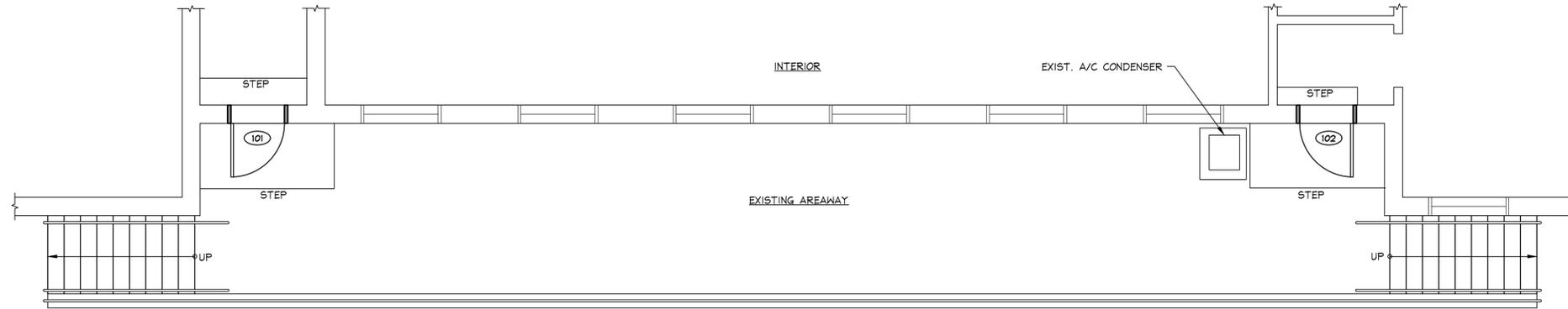
PRELIMINARY

NOT TO BE
 USED FOR
 CONSTRUCTION

REV.	DESCRIPTION	DATE
A	ISSUED FOR CLIENT REVIEW	12/4/20
B	ISSUED FOR BIDDING	03/11/21



PLAN NORTH



SCOPE OF WORK:

1. REMOVE DOORS, DOOR FRAMES AND INTERIOR TRIM IN THEIR ENTIRETY WITH EXTREME CAUTION. (THE EXISTING BRICK WORK IS IN POOR CONDITION AND NO WORK IS SCHEDULED FOR REPAIR/REPLACEMENT IN THIS PROJECT). SALVAGE DOOR HINGES, LOCKSET, RIM DEVICE AND CLOSER. BOX ITEMS AND SURRENDER TO OWNER REPRESENTATIVE.
2. CLEAN AND PREPARE ALL SURFACES.
3. PROVIDE NEW DOORS, DOOR FRAMES AND HARDWARE.

1 PARTIAL FLOOR PLAN - LOWER LEVEL

A-101 1/4"=1'-0" 0 2' 4' 8"

DOOR & FRAME SCHEDULE

NO.	DOOR			TYPE	GLASS			GLASS-ENERGY CODE INPUT			LOUVER			FIRE RATING	FRAME			HARDWARE SET	REMARKS	
	MAT'L	THK.	SIZE		TYPE	EDGE DET.	MAX SHGC	MAX U-FACTOR	MAX AIR LEAKAGE (CFM/SQ FT)	TYPE	MAT'L	EDGE DET.	TYPE		MAT'L	HEAD/JAMB	THRSH			PROFILE
101	FG	1-3/4	CUSTOM	A	1" INS	FRM	.38	.77	0.30	X	X	X	X	A	FG	X	SS	A	1	X
102	FG	1-3/4	CUSTOM	A	1" INS	FRM	.38	.77	0.30	X	X	X	X	A	FG	X	SS	A	1	X

LEGEND

- | | | | |
|------|------------------|--------|------------------------------|
| FG | -FIBER GLASS | VT | -VINYL THRESHOLD (REDUCER) |
| WD | -SOLID CORE WOOD | MT | -METAL THRESHOLD (ANGLE BAR) |
| IM | -INSULATED METAL | ST | -STONE THRESHOLD (MARBLE) |
| TEMP | -TEMPERED METAL | MTL | -METAL (METAL CHANNEL) |
| ALUM | -ALUMINUM | V.I.F. | -CONTRACTOR VERIFY IN FIELD |
| GL | -GLASS | | |
| FRM | -FRAME | | |
| INS | -INSULATED | | |

ENERGY CODE NOTES:

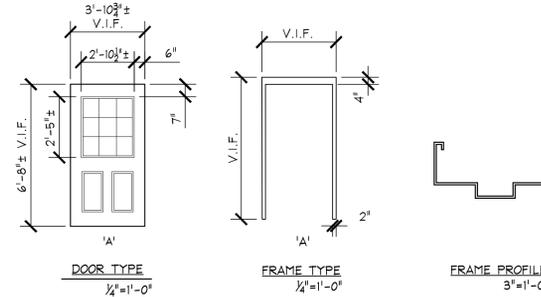
1. MAX. SHGC AS PER TABLE C402.4 AND SECTION C402.4.3 OF IECC-2018 WITH MA AMENDMENTS.
2. MAX. U-FACTOR AS PER TABLE C402.4 AND SECTION C402.4.3 OF IECC-2018 WITH MA AMENDMENTS.
3. MAX. AIR LEAKAGE AS PER TABLE C402.5.2 OF IECC-2018 WITH MA AMENDMENTS.

HARDWARE SETS

ALL COMPONENTS TO MEET ACCESSIBILITY REQUIREMENTS PER THE MASSACHUSETTS ACCESS BOARD

SET NO. 1

- (1/2) PAIR BUTT HINGES
- (1) LOCKSET, LEVER HANDLE
- (1) WEATHER STRIPPING
- (1) THERMAL BROKEN ALUMINUM THRESHOLD 1/2" H. MAX
- (1) CLOSER
- (1) KICKPLATE (12" H. ALUM.)



EXISTING ELECTRICAL TO BE RE-ROUTED BY OWNER PRIOR TO COMMENCEMENT OF CONTRACT WORK. THE CONDUIT WILL NO LONGER BE PRESENT



101

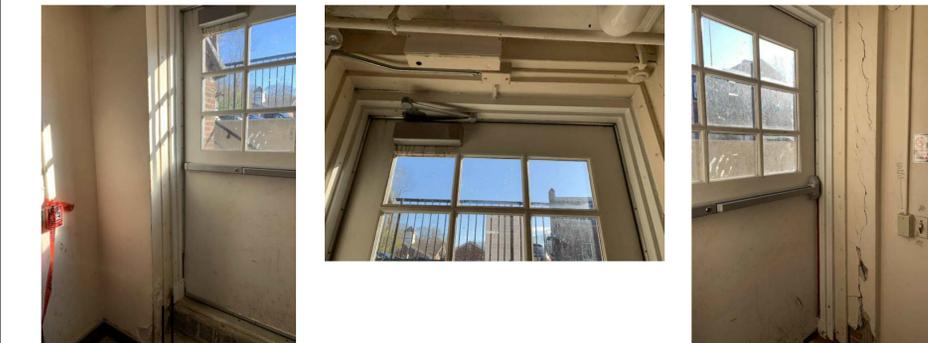
102

2 DOOR SCHEDULE AND SPECIFICATIONS

A-101 N.T.S.



REMOVE TRIM AND PREPARE WITH PVC TRIM ALL AROUND FRAME
EXTENT OF REPLACEMENT ALL AROUND FRAME. NO PLASTER WORK



REMOVE TRIM AND PREPARE WITH PVC TRIM ALL AROUND FRAME
EXTENT OF REPLACEMENT ALL AROUND FRAME. NO PLASTER WORK

4 DOOR 101 INTERIOR PHOTOS

A-101 NO SCALE

5 DOOR 102 INTERIOR PHOTOS

A-101 NO SCALE

3 EXISTING DOORS - EXTERIOR

A-101 NO SCALE

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(413) 684-0925
44 Spring Street
Adams, MA 01220
(413) 743-0013
www.hillengineers.com

PRELIMINARY

NOT TO BE
USED FOR
CONSTRUCTION

REV.	DESCRIPTION	DATE
A	ISSUED FOR CLIENT REVIEW	12/04/20
B	ISSUED FOR BIDDING	03/11/21

TOWN OF LONGMEADOW - COMMUNITY HOUSE
735 LONGMEADOW STREET
LONGMEADOW, MA 01106
DRAWING TITLE
**LOWER LEVEL PARTIAL PLAN,
DOOR SCHEDULE AND DETAILS**
PROJECT DESCRIPTION
**AREAWAY EXTERIOR
DOOR REPLACEMENT**

DRAWN BY **DB**
DATE DRAWN **08/07/20**
SCALE **AS NOTED**
APV'D BY _____

CAD CODE:
TOL-7-013-A-101.dwg
GRAPHIC SCALE:

PROJECT NUMBER:
TOL-7-013

DRAWING NUMBER	REV.
A-101	B

PLOT DATE=3/17/2021 10:38:28 AM USER=MARIANNE KOLODZIEJ FILENAME=S:\CAD\Current\TOL-07-013 CH exterior door replacement\SETUP\DRAWINGS\CAD Files\TOL-7-013-A-101.dwg